

5669, 5885 CARPINTERIA AVENUE,
CARPINTERIA, CA 93013
APN: 001-170-10 / APN: 001-170-13



PROPOSED PARCEL BREAKDOWN / SITE COVERAGE

TOTAL PARCELS ACRAGE	27.50 AC	1	TOTAL PROPOSED PARCEL 1 COVERAGE	68,687.10 SF (5.74%)
PROPOSED PARCEL 1 - RESIDENTIAL PSHH DEVELOPMENT	1.58 AC		TOTAL BUILDING FOOTPRINT	24,014.00 SF (2.00%)
PROPOSED PARCEL 2 - RETREAT & FARM (INCL. 1.60 AC FARM)	12.32 AC		TOTAL HARDSCAPE	30,582.00 SF (2.56%)
PROPOSED PARCEL 3 - CONSERVED PUBLIC OPEN SPACE NORTH (INCL. 3.40 AC FARM)	9.47 AC		TOTAL LANDSCAPE AREA	14,091.10 SF (1.18%)
PARCEL 4 - CONSERVED PUBLIC OPEN SPACE SOUTH	4.13 AC	2	TOTAL PROPOSED PARCEL 2 COVERAGE	536,754.28 SF (44.80%)
			TOTAL BUILDING FOOTPRINT	102,469.00 SF (8.55%)
			TOTAL HARDSCAPE (INCL. EXT. AREAS)	144,019.00 SF (12.03%)
			TOTAL LANDSCAPE AREA	290,266.28 SF (24.22%)
		3	TOTAL PROPOSED PARCEL 3 COVERAGE	412,373.81 SF (34.44%)
			TOTAL BUILDING FOOTPRINT	0.00 SF (0.00%)
			TOTAL HARDSCAPE	26,572.00 SF (2.22%)
			TOTAL LANDSCAPE AREA	385,801.81 SF (32.22%)
		4	TOTAL PROPOSED PARCEL 4 COVERAGE	179,903.00 SF (15.02%)
			TOTAL BUILDING FOOTPRINT	0.00 SF (0.00%)
			TOTAL HARDSCAPE	13,504.00 SF (1.13%)
			TOTAL LANDSCAPE AREA	166,399.00 SF (13.89%)

PROPOSED PROGRAM BREAKDOWN - OVERALL SITE HOSPITALITY

TOTAL # OF RETREAT BUILDINGS	52		
	GROSS	NET	
A - MAIN RETREAT BUILDING	7,413 SF	4,785 SF	
B - RESTAURANT	10,851 SF	6,971 SF	
C - FARM EVENTS BUILDING	7,388 SF	5,153 SF	
D - WELLNESS & SPA	12,926 SF	9,722 SF	
E - LODGES	39,504 SF	21,196 SF	
EA - LODGE 1	18,752 SF	10,598 SF	
EB - LODGE 2	10,281 SF	5,281 SF	
EC - LODGE 3	9,471 SF	5,317 SF	
ED - LODGE 4	285 SF	695 SF	
EE - LODGE 5	19,752 SF	10,598 SF	
EF - LODGE 6	10,281 SF	5,281 SF	
EG - LODGE 7	9,471 SF	5,317 SF	
EH - LODGE 8	285 SF	695 SF	
FI - BUNGALOWS	34,776 SF	20,636 SF	
FJ - BUNGALOWS - STUDIO (12)	8,280 SF	4,956 SF	
FK - BUNGALOWS - 1BR (16)	13,248 SF	7,520 SF	
FL - BUNGALOWS - 2BR (12)	13,248 SF	8,160 SF	
GM - POOL BUILDING	1,566 SF	521 SF	
GN - H - RETREAT MAINTENANCE	3,027 SF	2,432 SF	
GO - FARM BUILDING	2,112 SF	1,681 SF	
GP - J - FARM STAND	600 SF	391 SF	
GQ - L - BUNGALOW SERVICE SHED	96 SF	77 SF	
GR - N - GREYWATER TREATMENT FACILITY	1,152 SF	1,081 SF	
TOTAL RETREAT FLOOR AREA	GROSS: 121,411 SF	NET: 74,646 SF	
RETREAT EXTERIOR AREAS	9,895 SF		
MAIN POOL EXTERIOR DECK	4,703 SF		
ADULT POOL EXTERIOR DECK	2,250 SF		
FARM	5 AC		
PARKING			
VISITOR LOT (NE CORNER OF PPT - 68 STALLS)	20,047 SF		
SUBTERRANEAN PARKING (NE CORNER OF PPT - 154 STALLS)	52,662 SF	49,963 SF	
TOTAL HOTEL HARDSCAPE	134,124 SF		
CAR ACCESS RETREAT ROADS	68,704 SF		
PRIVATE RETREAT PATHS	LENGTH: 1,724 FT.	65,420 SF	
	LENGTH: 4371 FT.		

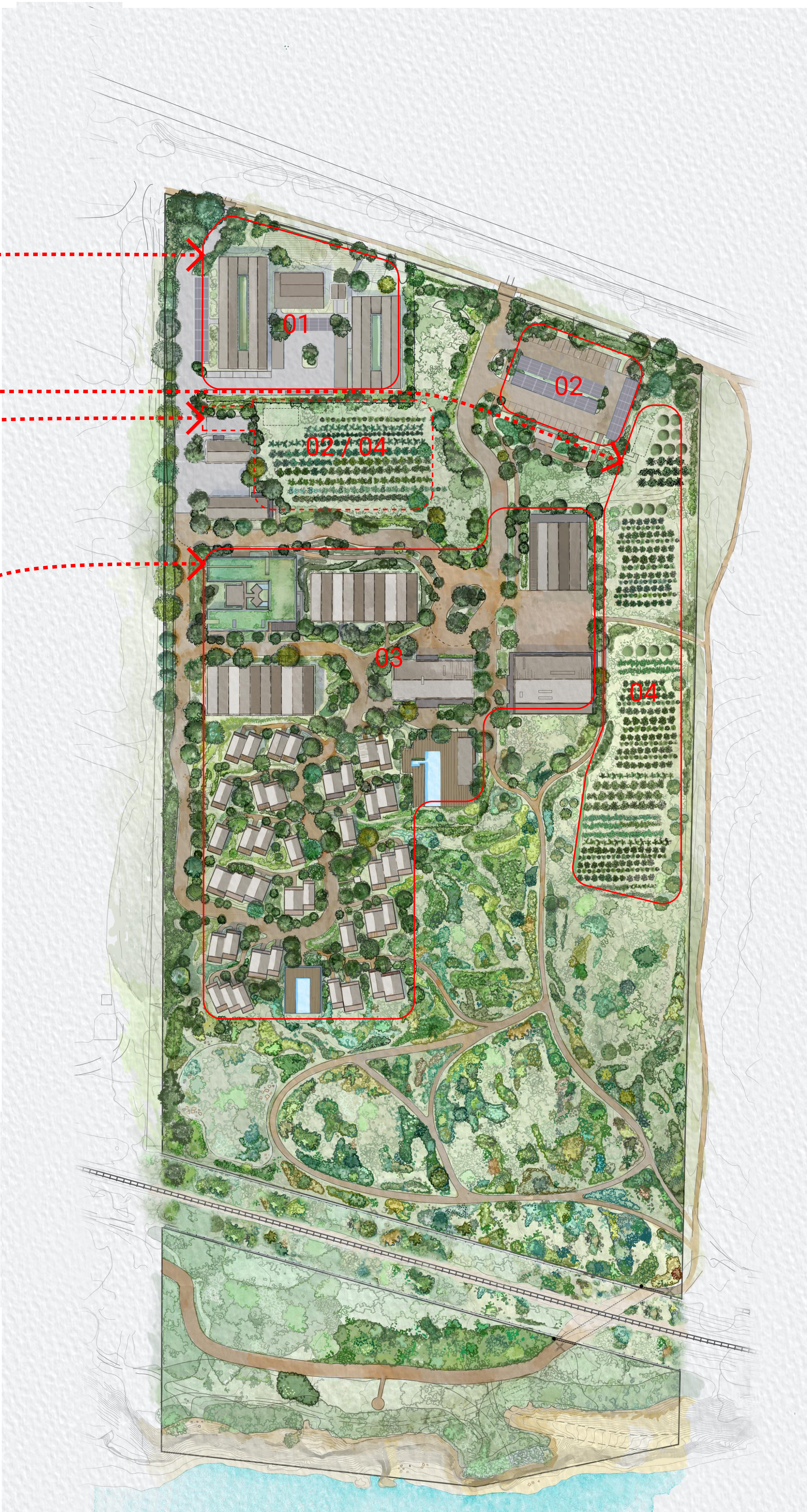
RESIDENTIAL

TOTAL # OF RESIDENTIAL BUILDINGS		4
	GROSS	NET
RESIDENCES	39,788 SF	29,686 SF
RA - RESIDENCE 1	21,780 SF	16,078 SF
FIRST FLOOR	10,890 SF	8,039 SF
SECOND FLOOR	10,890 SF	8,039 SF
APARTMENT BREAKDOWN		
RESIDENCE 1:		
1 BR (8)		580 SF
2 BR (4)		880 SF
3 BR TYPE 1 (4)		990 SF
3 BR TYPE 2 (2)		990 SF
RB - RESIDENCE 2	18,088 SF	13,608 SF
FIRST FLOOR	9,004 SF	6,804 SF
SECOND FLOOR	9,004 SF	6,804 SF
APARTMENT BREAKDOWN		
RESIDENCE 2:		
1 BR (12)		580 SF
2 BR (4)		880 SF
3 BR TYPE 1 (2)		990 SF
3 BR TYPE 2 (2)		990 SF
RC - COMMUNITY CENTER	7,500 SF	4,519 SF
FIRST FLOOR	3,000 SF	3,341 SF
SECOND FLOOR (3 BR MAN. APT.)	3,500 SF	1,178 SF
RD - MAINTENANCE STORAGE	620 SF	347 SF
TOTAL RESIDENTIAL FLOOR AREA		
	GROSS	NET
	47,408 SF	34,552 SF
RESIDENTIAL EXTERIOR AMENITIES		
	6,100 SF	
BBQ & PICNIC AREA	1,900 SF	
PLAY AREA (6-12 Y.O.)	1,700 SF	
PLAY AREA (13-17 Y.O.)	2,500 SF	
RESIDENTIAL PARKING (NW CORNER OF PPT - 52 STALLS)	16,914 SF	
TOTAL RESIDENTIAL HARDSCAPE		
	30,582 SF	
CAR ACCESS RESIDENTIAL ROADS	26,204 SF	
PRIVATE RESIDENTIAL PATHS	LENGTH 1,676' LENGTH 484'	
TOTAL # OF BUILDINGS		
	GROSS	NET
TOTAL RETREAT GROUND FL. AREA	102,469 SF	64,012 SF
RETREAT LOBBIES & BUNGALOWS + CABINETS	18,942 SF	16,534 SF
RESTAURANT (140 SEATS), 1 STALL PER 4 SEATS	24,014 SF	18,531 SF
FARM (40 UNITS + 1 MANAG. UNIT) + VISIT. PARKING	23,994 SF	16,021 SF
VISITOR (PRESSURE FARM EMPLOYEE PARKING RETREAT EMPLOYEE PARKING EVENTS BARN (1 PER 3000SF) FARM STAND		50 2 16 2
TOTAL RETREAT BICYCLE PARKING		11
TOTAL RESIDENTIAL BICYCLE PARKING		6

SITE PLAN CHANGES

CONCEPT REVIEW SITE PLAN PROPOSAL - 03/31/2022

NEW SITE PLAN PROPOSAL

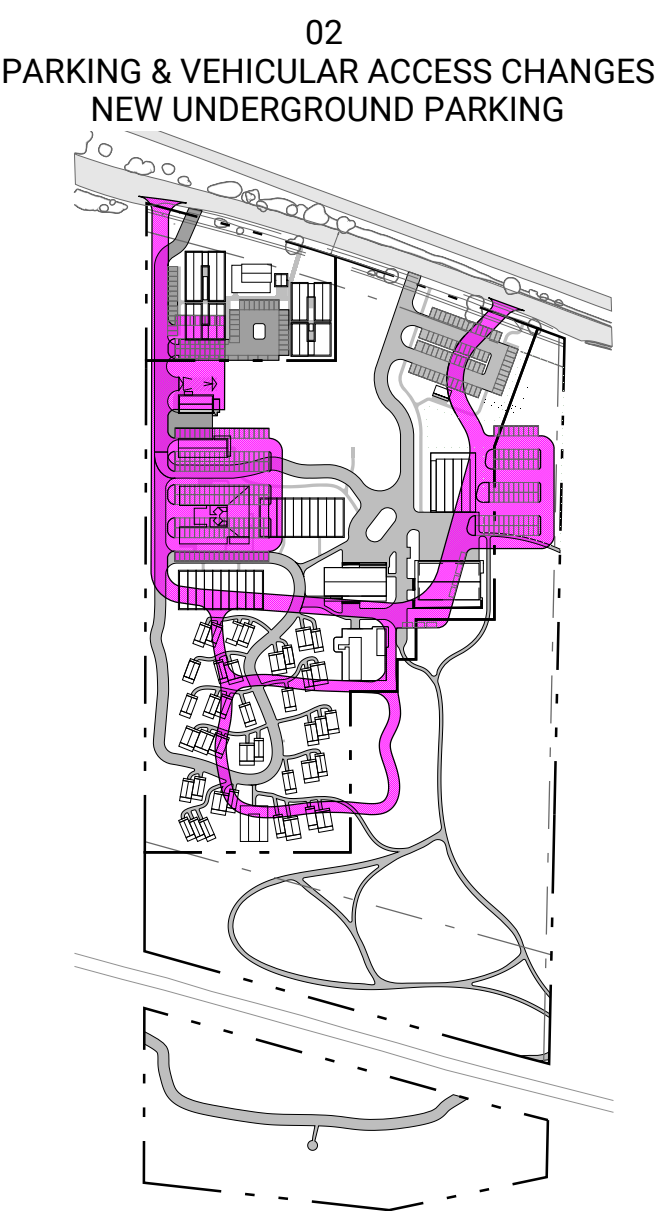


MAJOR DESIGN UPDATES

- 01 - RESIDENCES: THE SCALE OF THE RESIDENCES AND ASSOCIATES RESIDENTIAL AMMENITIES HAVE BEEN INCREASED FROM 16 TO 41 UNITS OF AFFORDABLE HOUSING UNITS, PLUS COMMUNITY RECREATION BUILDINGS AND AREAS.
- 02 - SURFACE LEVEL PARKING WAS CONSOLIDATED TO THE NORTH EAST CORNER OF THE SITE (NEAR THE EXISTING TEE TIME PARKING LOT) AND IN AN UNDERGROUND PARKING GARAGE, TO INCREASE THE AMOUNT OF OPEN SPACE AND REDUCE THE AMOUNT OF VISIBLE SURFACE PARKING.
- 03 - ALL BUILDINGS HAVE SHIFTED AND CLUSTERED TOWARD THE NORTHWEST CORNER OF THE SITE, OPENING UP SIGNIFICANTLY MORE PRESERVE AND AND FARM LAND ADJACENT TO THE BLUFFS.
- 04 - FARM AREA PREVIOUSLY ALLOCATED AT THE CENTER OF THE SITE WAS SHIFTED TO THE EASTERN EDGE OF THE SITE. CREATING A LARGER NATURAL BUFFER.



- PREVIOUSLY PROPOSED RESIDENTIAL
- NEW RESIDENTIAL



- PREVIOUSLY PROPOSED PARKING & ROADS
- NEW PARKING & ROADS



- PREVIOUSLY PROPOSED BUILDING FOOTPRINTS
- NEW BUILDING FOOTPRINTS



- PREVIOUSLY PROPOSED FARM & BUFFER
- PREVIOUS BUFFER ZONE
- NEW BUILDING FARM & BUFFER

PROJECT:

5885 CARPINTERIA AVE
SANTA BARBARA, CA 93103

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ISSUES:

No.	Description	Date
1		

Date: 10/12/2023 Project No: PDS049

Scale: N/A Sheet Size: 30" x 42"

Sheet Title: SITE PLAN CHANGES

Sheet No: G.000.2

ON-SITE SUSTAINABILITY INITIATIVES

SOLAR POWER GENERATION + BATTERY POWER STORAGE

According to the conceptual modeling and energy analysis of solar arrays for the proposed Carpinteria Farm and Hospitality Experience development, it is expected that a carport solar system would offset about 25% of the property's energy consumption. The proposed system has the capability to scale in order to increase the total on-site energy production capacity.

REGENERATIVE FARMING + ORGANIC SOIL

Following a strict multi-year plan to restore the local ground conditions, the farm will acquire a USDA Organic Soil certification. Additionally, the farm will implement regenerative farming techniques, such as on site composting, crop rotation with native nitrogen fixing crops. The farm aims to tap into Carpinteria's rich agrarian history and serve as an example of agricultural methods that honor local farming traditions and strive for the highest level of sustainable farming practices.

NATIVE PLANTS & LANDSCAPE RESTORATION

The landscape strategy of the proposed project implimnts methods of planting that will restore the earth to it's natural state, as it was hundreds of years ago. By reintroducing local species and fostering natural growth densities, the site's landscaping aims to require no additional water resources than the natural rainfall within 10 years.

WATER CATCHMENT + GREY WATER RE-USE

Rainwater and grey water will captured and stored on site and re-used.

ZERO SOIL EXPORT / IMPORT

In order to reduce both the carbon emmissions associated with material hauling as well as the disturbance to the neighborhood, the project proposes Net Zero soil importing and exporting.


SUSTAINABLE, REGIONAL BUILDING MATERIALS

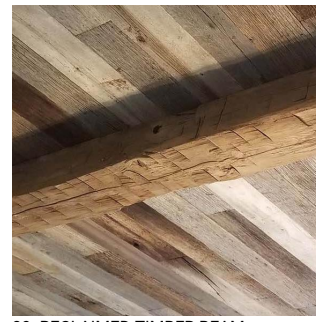
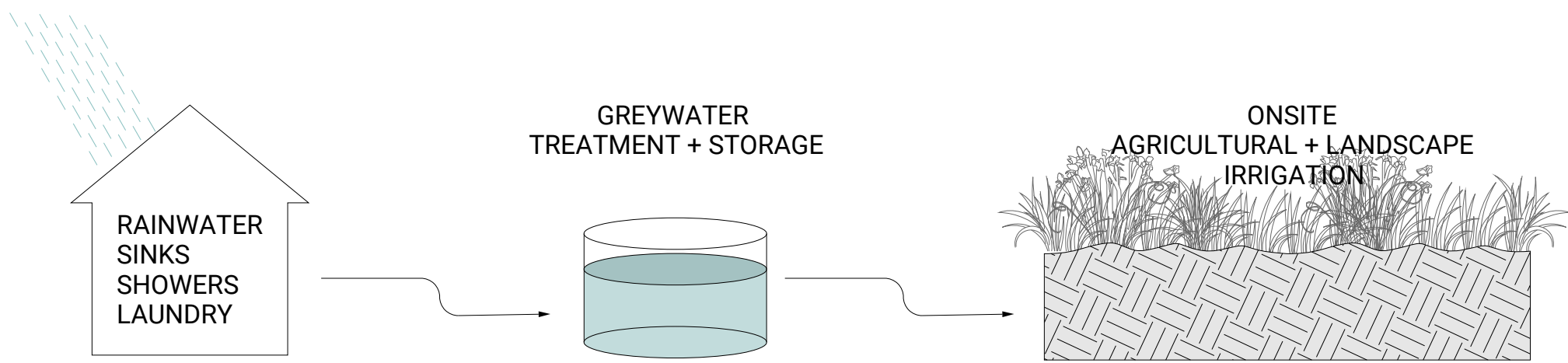
The proposed project uses materials sourced from as close to Carpinteria as possible. The aim of this is twofold.
1. The use of local and reclaimed materials reduces the overall carbon footprint of the project by reducing shipping emmissions and breathing new life into reclaimed materials.
2. Locally sourced materials will express the identity of place and strive for an architectural expression that celebrates Carpinteria's unique style and history.

LOCALLY SOURCED PRODUCTS

The commercial and retail areas of the proposed project will foster relationships with the broader community and serve as a point of exhibition and sale for locally crafted goods.



SOLAR POWER PLAN
RESIDENTIAL: 130 PANELS (540W)
COMMERCIAL: 204 PANELS (540W)
 = SOLAR ARRAY AREA



10 SITE PLAN
SCALE: 1" = 80'

PROJECT:

5885 CARPINTERIA AVE
SERRA CARPINTERIA AVE
CARPINTERIA, CA 93013

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SITE PLAN

10/12/2023

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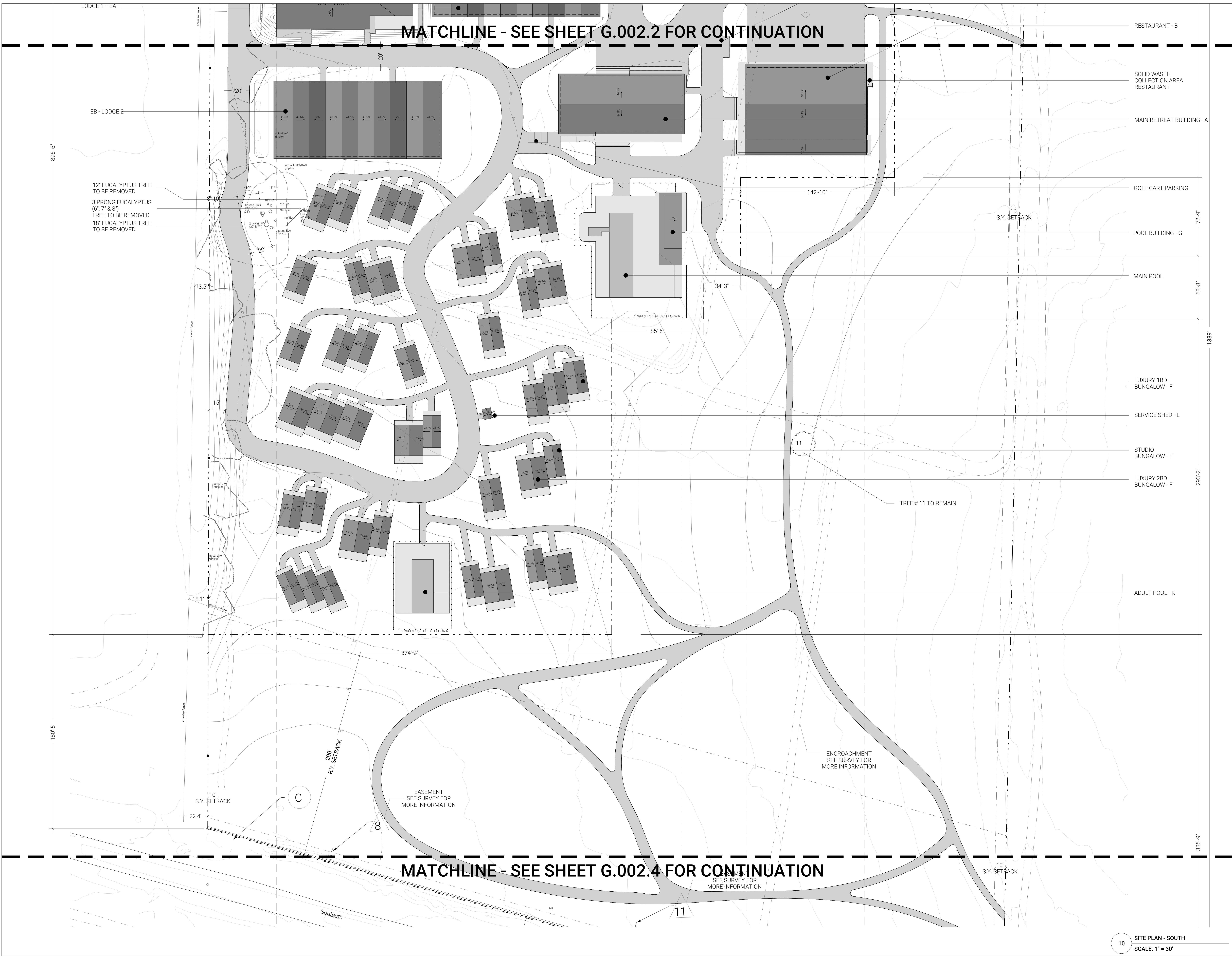
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10/12/2023	PDS049
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Sheet Title

SUSTAINABILITY SUMMARY

Sheet No:

G.000.3



PROJECT:

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5885 CARPINTERIA AVE
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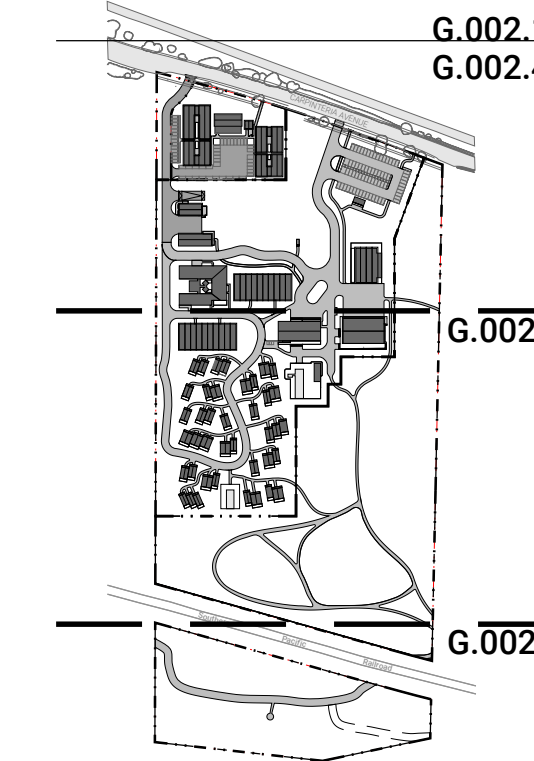
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SITE PLAN

1/12/23 - 1/12/23



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10/12/2023

Scale:

1" = 30'

Sheet Title:

SITE PLAN - SOUTH

Sheet No:

G.002.3

Project No:

PDS049

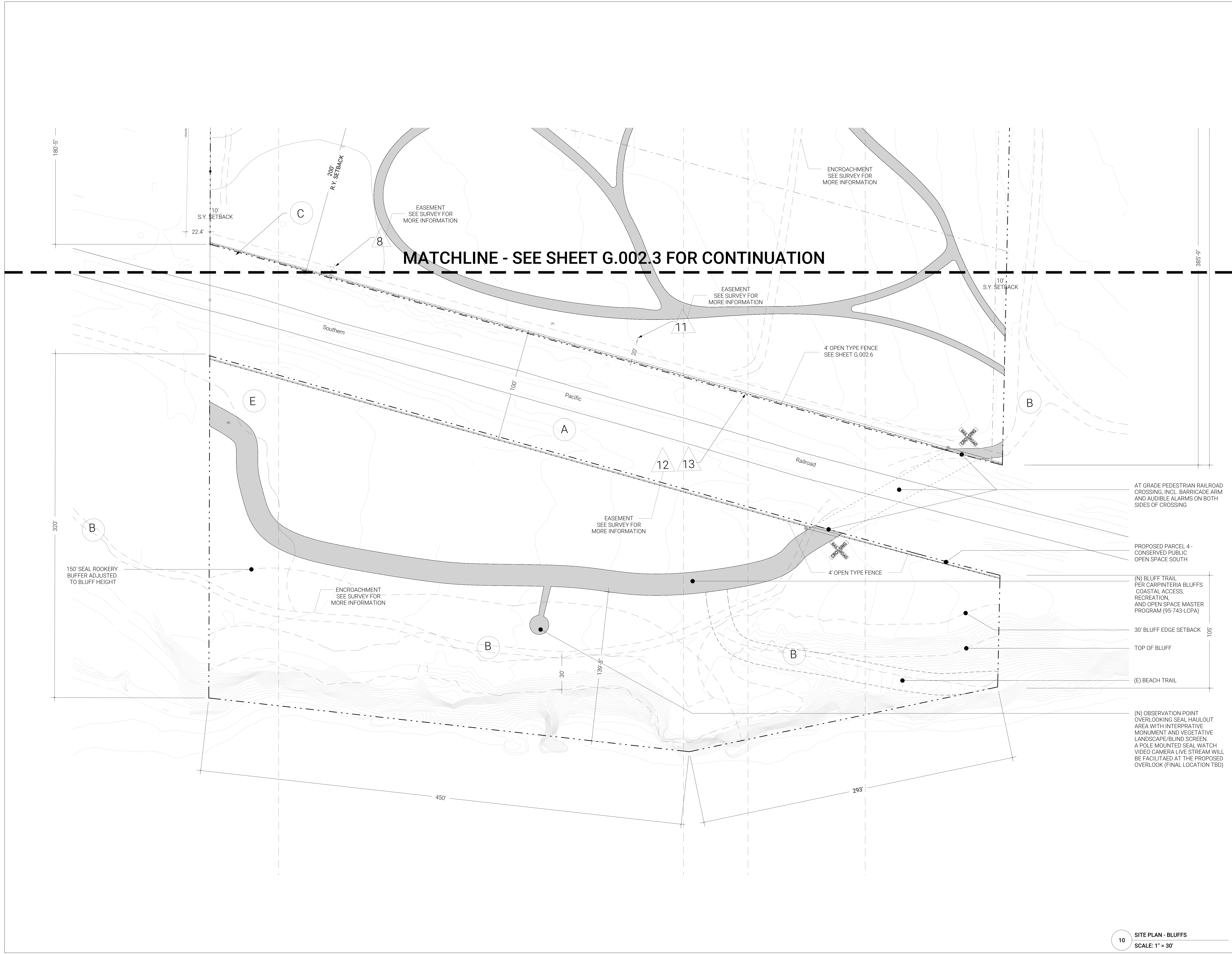
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SITE PLAN - SOUTH

SCALE: 1" = 30'



PROJECT:

5885 CARPINTERIA AVE
5885 CARPINTERIA AVE
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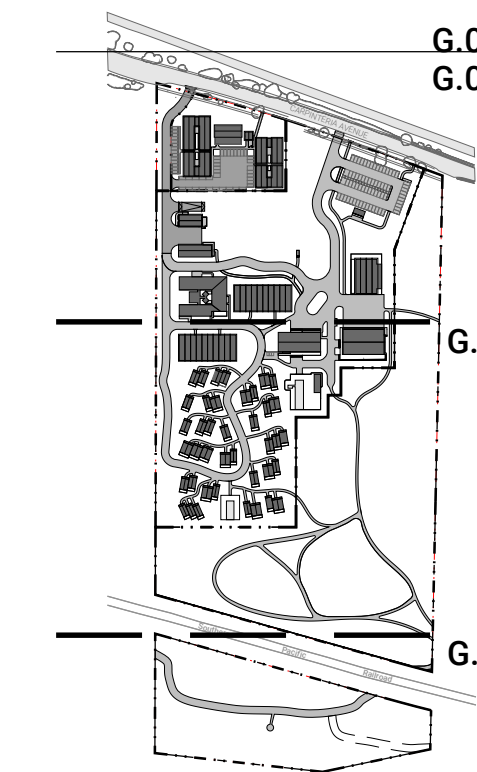
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SITE PLAN

1" = 30'



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SITE PLAN - BLUFFS

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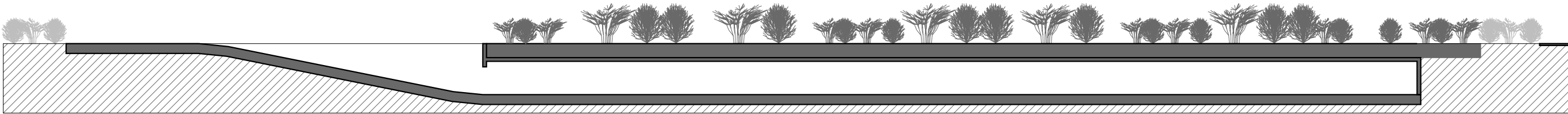
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SITE PLAN - BLUFFS
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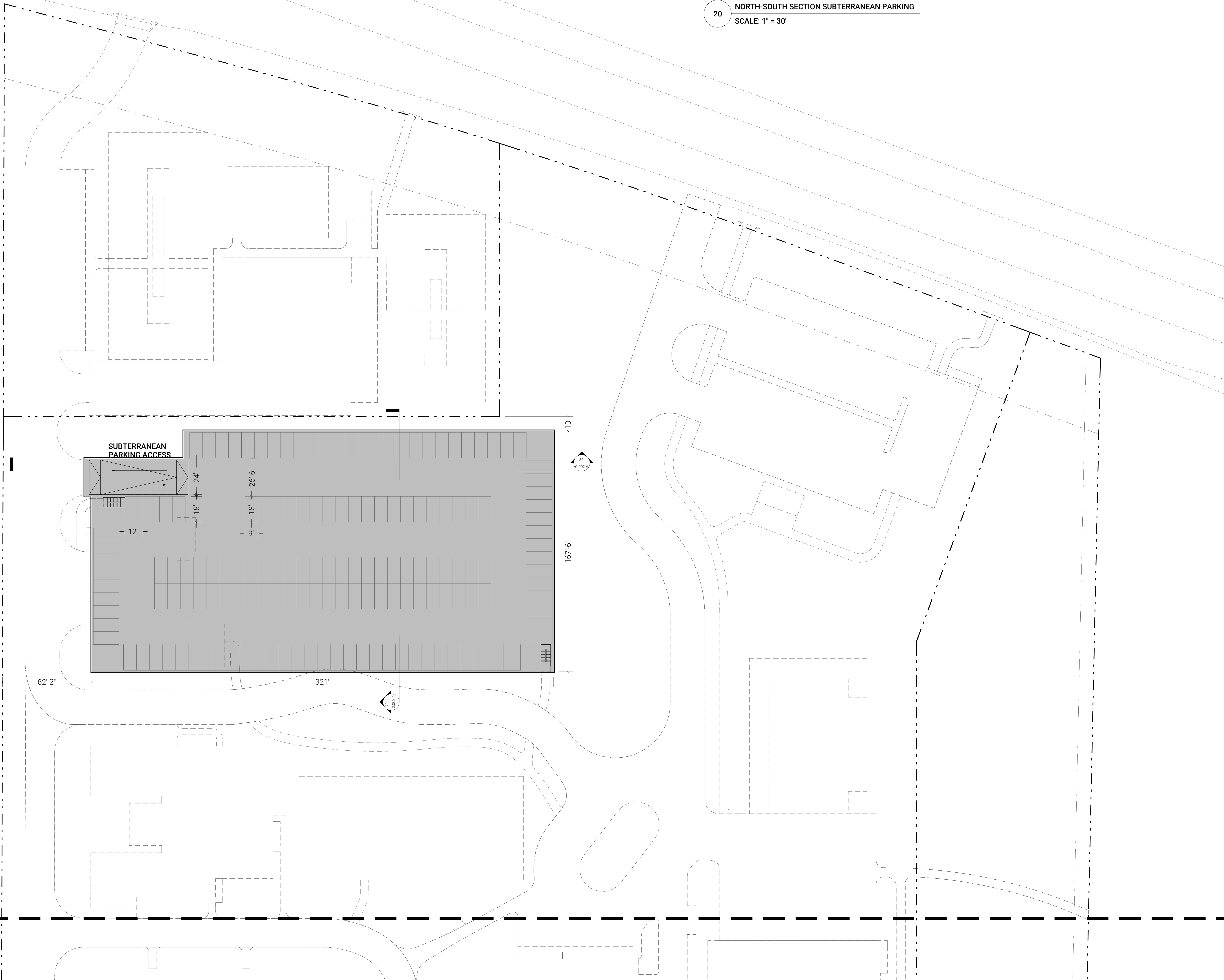
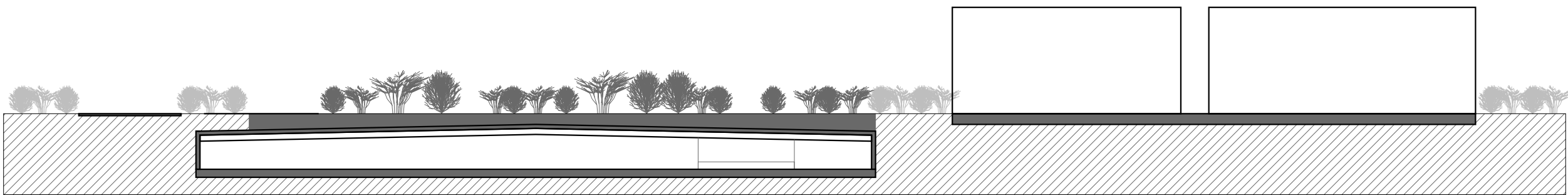
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EAST-WEST SECTION SUBTERRANEAN PARKING
SCALE: 1" = 30'



20

NORTH-SOUTH SECTION SUBTERRANEAN PARKING
SCALE: 1" = 30'



10

SITE PLAN SUBTERRANEAN PARKING
SCALE: 1" = 30'

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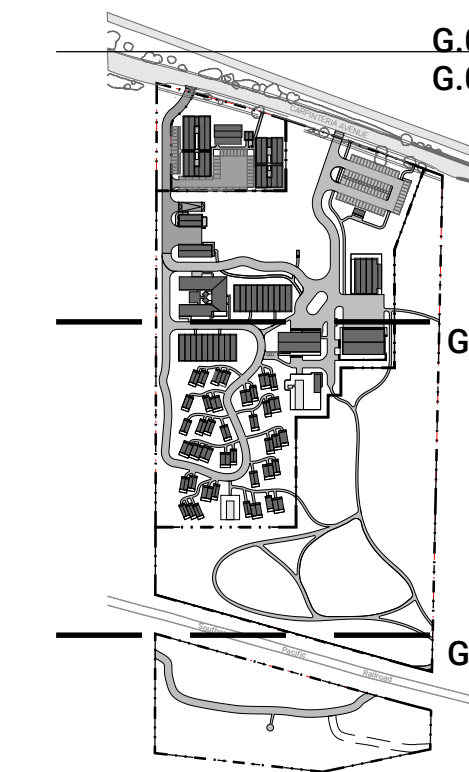
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SITE PLAN

10/12/2023



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30" x 42"

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SITE PLAN
SUBTERRANEAN PARKING

Sheet No:

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32 NORTH ENTRANCE - YEAR 1



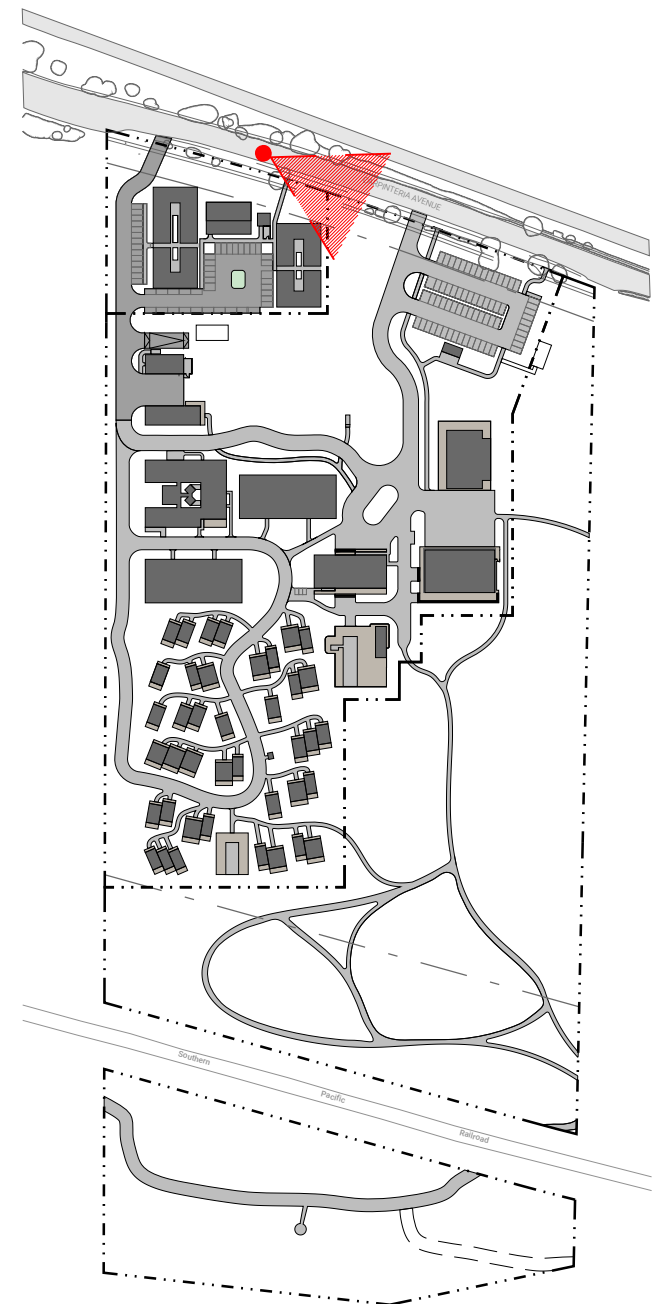
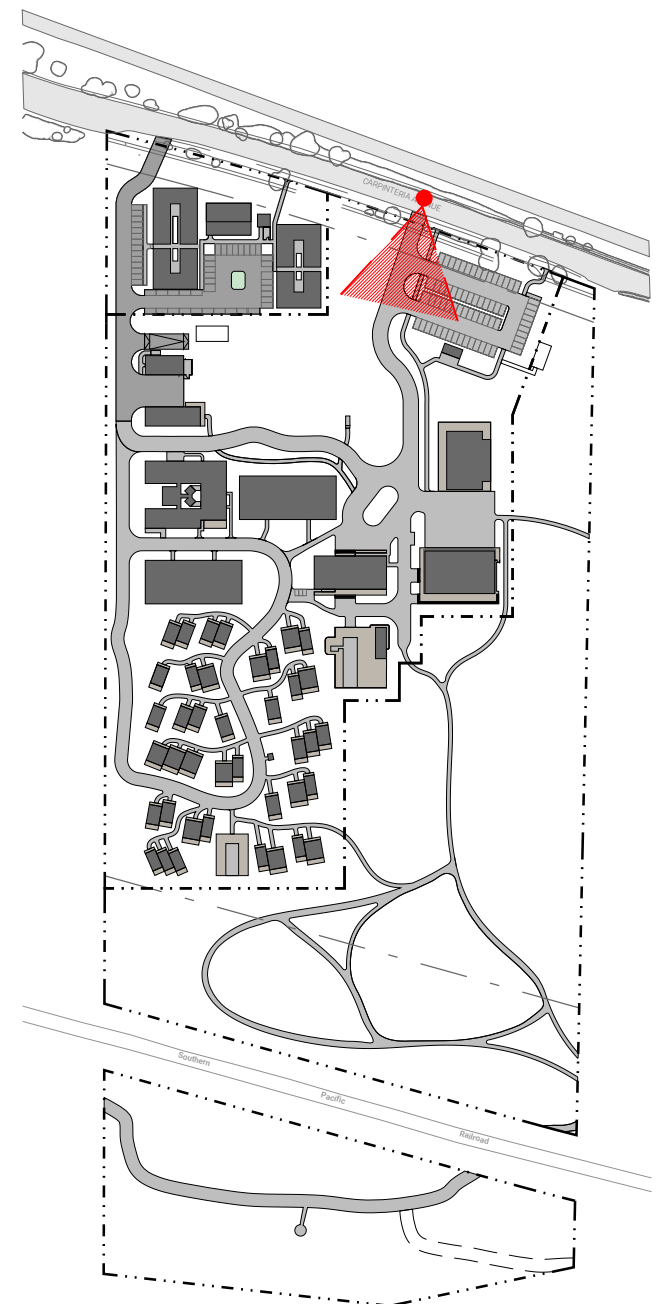
33 NORTH ENTRANCE - YEAR 10



32 NORTH VIEW - RESIDENCES - YEAR 1



33 NORTH VIEW - RESIDENCES - YEAR 10



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1625 STATE STREET, STE 1
SANTA BARBARA, CA 93101

CIVIL ENGINEER

FLUWEL & ASSOCIATES, INC.
110 W. CANYON PERDIDO STREET
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LANDSCAPE ARCHITECT

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246 WASHINGTON AVE, STUDIO C
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GEOLOGIST

GEOTECH WEST, INC.
2001 N. SAN FERNANDO BLVD., STE 100
BURBANK, CA 91504

SURVEYOR

WATERS CARROLLS LAND SURVEYING, LLP
553 MILLER AVE, STE 700
GOLETA, CA 93117

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ISSUES:

No.	Description	Date
1		

Date:
10/12/2023

Project No:
PDS049

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Sheet Size:

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Sheet Title:

RENDERINGS

Sheet No:

G.904



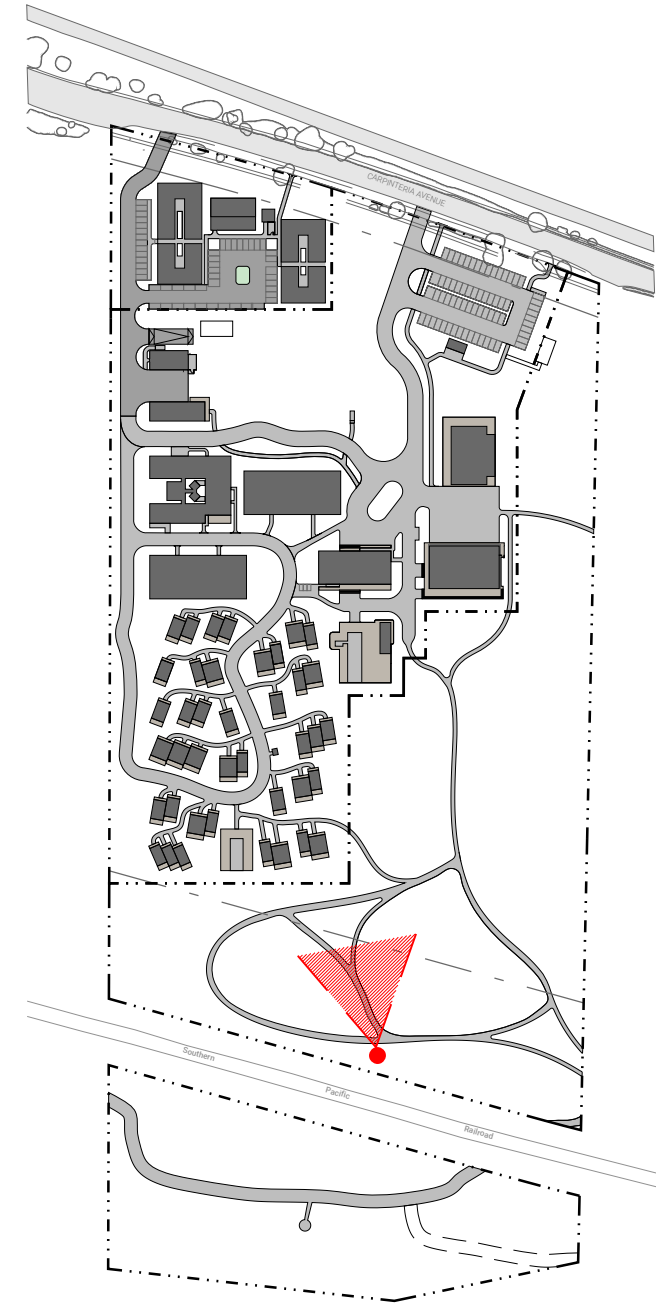
32

BLUFFS VIEW 1



32

BLUFFS VIEW 2



PROJECT:

5885 CARPINTERIA AVE
5885 CARPINTERIA AVE
CARPINTERIA, CA 93013

CLIENT

CARP BLUFF, LLC
13025 RIVERVIEW DRIVE
SHERMAN OAKS, CA 91423

ARCHITECTURAL DESIGNER

PLUS DESIGN, LLC
3905 STATE STREET, STE 101
SANTA BARBARA, CA 93107

PROJECT MANAGER

NEST PARTNER
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SANTA BARBARA, CA 93107

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CIVIL ENGINEER

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LANDSCAPE ARCHITECT

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Date: 10/12/2023

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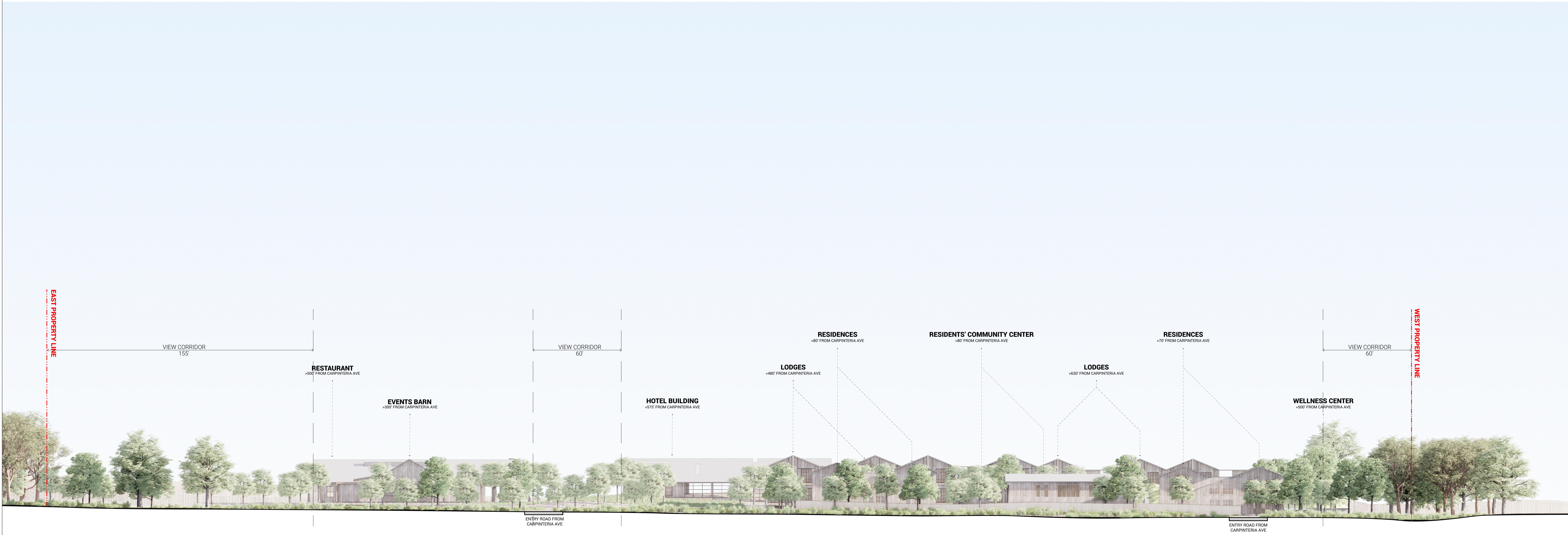
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Sheet Title:

RENDERINGS

Sheet No:

G.906



32 SITE NORTH ELEVATION
NTS

PROJECT:

5885 CARPINTERIA AVE
5885 CARPINTERIA AVE
CARPINTERIA, CA 93013

CLIENT

CARP BLUFF, LLC
13515 RIVERVIEW DRIVE
SHERMAN OAKS, CA 91423

ARCHITECTURAL DESIGNER

PLUS DESIGN, LLC
3905 STATE STREET, STE 101
SANTA BARBARA, CA 93105

PROJECT MANAGER

NEST PARTNERS
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No.	Description	Date
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Date:	Project No.
10/12/2023	PDS049
Scale:	Sheet Size
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SITE NORTH ELEVATION

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