

5669, 5885 CARPINTERIA AVENUE, CARPINTERIA, CA 93013 APN: 001-170-10 / APN: 001-170-13



#### PROPOSED PARCEL BREAKDOWN / SITE COVERAGE

TOTAL PARCELS ACRAGE	27.50 AC
PROPOSED PARCEL 1 - RESIDENTIAL PSHH DEVELOPMENT	1.58 AC
PROPOSED PARCEL 2 - RETREAT & FARM	12.32 AC (INCL. 1.60 AC FARM)
PROPOSED PARCEL 3 - CONSERVED PUBLIC OPEN SPACE NORTH	9.47 AC (INCL. 3.40 AC FARM)
PARCEL 4 - CONSERVED PUBLIC OPEN SPACE SOUTH	4.13 AC
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TOTAL PARCELS COVERAGE	27.5 AC (100%)
TOTAL BUILDING FOOTPRINT	2.90 AC (10.55%)
TOTAL HARDSCAPE	4.93AC (17.94%)
TOTAL LANDSCAPE AREA	19.66 AC (71.51%)

$\left( 1\right)$	TOTAL PROPOSED PARCEL 1 COVERAGE	68,687.10 SF (5.74%)
	TOTAL BUILDING FOOTPRINT	24,014.00 SF (2.00%)
	TOTAL HARDSCAPE	30,582.00 SF (2.56%)
	TOTAL LANDSCAPE AREA	14,091.10 SF (1.18%)

2)	TOTAL PROPOSED PARCEL 2 COVERAGE	536,754.28 SF (44.80
	TOTAL BUILDING FOOTPRINT	102,469.00 SF (8.55
	TOTAL HARDSCAPE (INCL. EXT. AREAS)	144,019.00 SF (12.03
	TOTAL LANDSCAPE AREA	290,266.28 SF (24.22
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3)	TOTAL PROPOSED PARCEL 3 COVERAGE	412,373.81 SF (34.44

0.00 SF (0.00%)

13,504.00 SF (1.13%)

166,399.00 SF (13.89%)

102.469 SF

18.942 SF

GROSS

64,012 SF

10,634 SF

274 STALLS

24,014 SF 18,531 SF

23,394 SF 16,021 SF

168,819 SF 109,198 SF

	TOTAL HARDSCAPE	26,572.00 SF (2.22%)
	TOTAL LANDSCAPE AREA	385,801.81 SF (32.22%
_ ;		
$\left(4\right)$	TOTAL PROPOSED PARCEL 4 COVERAGE	179,903.00 SF (15.02%
	TOTAL BUILDING FOOTPRINT	0.00 SF (0.00%

TOTAL BUILDING FOOTPRINT

TOTAL HARDSCAPE

TOTAL LANDSCAPE AREA

#### PROPOSED PROGRAM BREAKDOWN - OVERALL SITE HOSPITALITY

TOTAL # OF RETREAT BUILDINGS		52
	GROSS	NET
☐ A - MAIN RETREAT BUILDING	7,413 SF	4,785 SF
■ B - RESTAURANT	10,851 SF	
□ C - FARM EVENTS BUILDING	7,388 SF	5,153 SF
D - WELLNESS & SPA	12,926 SF	
□ E-LODGES	·	21,196 SF
EA - LODGE 1	19.752 SF	10,598 SF
FIRST FLOOR	10,281 SF	5,281 SF
SECOND FLOOR	9,471 SF	5,317 SF
ROOM BREAKDOWN:		
STUDIO (16)		285 SF
STUDIO PLUS (12) STANDARD1 BEDROOM (2)		330 SF 695 SF
	10.750.05	
EB - LODGE 2 FIRST FLOOR	19,752 SF 10,281 SF	10,598 SF 5,281 SF
SECOND FLOOR	9,471 SF	
ROOM BREAKDOWN:	•	·
STUDIO (16)		285 SF
STUDIO PLÚS (11)		330 SF
STANDARD1 BEDROOM (2)		695 SF
F - BUNGALOWS	34,776 SF	20,636 SF
BUNGALOWS - STUDIO (12)	8,280 SF	4,956 SF
■ BUNGALOWS - 310DIO (12)	13,248 SF	
□ BUNGALOWS - 2BR (12)	13,248 SF	
G - POOL BUILDING	1,566 SF	521 SF
☐ H - RETREAT MAINTENANCE	3,027 SF	
I - FARM BUILDING	2,112 SF	
J - FARM STAND	600 SF	
L - BUNGALOW SERVICE SHED	96 SF	77 SF
■ N - GREYWATER TREATMENT FACILITY	1,152 SF	1,081 SF
TOTAL RETREAT FLOOR AREA	GROSS	NET
	121,411 SF	74,646 SF
DETDEAT EVIEDIOD ADEAO	9,895 SF	
RETREAT EXTERIOR AREAS	•	
MAIN POOL EXTERIOR DECK	4,703 SF 2,250 SF	
ADULT POOL EXTERIOR DECK	2,250 SF	
POOL	4 0 4 0 5 =	
G - MAIN POOL	1,942 SF	
K - ADULT POOL	1,000 SF	
FARM	5 AC	
PARKING		
VISITOR LOT	20,047 SF	
(NE CORNER OF PPT - 68 STALLS)		
SUBTERRANEAN PARKING (NE CORNER OF PPT - 154 STALLS)	52,662 SF	49,963 SF
TOTAL HOTEL HARDSCAPE	134,124 SF	
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68,704 SF

65,420 SF

LENGTH: 1,724 FT.

LENGTH: 4,371 FT.

CAR ACCESS RETREAT ROADS

PRIVATE RETREAT PATHS

RESIDENTIAL		
TOTAL # OF RESIDENTIAL BUILDINGS		
	GROSS	NE
RESIDENCES	39,788 SF	
RA - RESIDENCE 1 FIRST FLOOR SECOND FLOOR	21,780 SF 10,890 SF 10,890 SF	
APARTMENT BREAKDOWN RESIDENCE 1: 1 BR (8) 2 BR (4) 3 BR TYPE 1 (4) 3 BR TYPE 2 (2)		580 S 880 S 990 S 990 S
RB - RESIDENCE 2 FIRST FLOOR SECOND FLOOR	18,008 SF 9,004 SF 9,004 SF	6,804 S
APARTMENT BREAKDOWN RESIDENCE 2: 1 BR (12) 2 BR (6) 3 BR TYPE 1 (2) 3 BR TYPE 2 (2)		580 S 880 S 990 S 990 S
RC - COMMUNITY CENTER	7,000 SF	4,519 \$
FIRST FLOOR SECOND FLOOR (3 BR MAN. APT.)	3,500 SF 3,500 SF	
RD - MAINTENANCE STORAGE	620 SF	347 S
TOTAL RESIDENTIAL FLOOR AREA	GROSS	NE
	47,408 SF	34,552 S
RESIDENTIAL EXTERIOR AMMENITIES	6,100 SF	
BBQ & PICNIC AREA PLAY AREA (6-12 Y.O.) PLAY AREA (13-17 Y.O.)	1,900 SF 1,700 SF 2,500 SF	
RESIDENTIAL PARKING (NW CORNER OF PPT - 52 STALLS)	16,914 SF	
TOTAL RESIDENTIAL HARDSCAPE	30,582 SF	
CAR ACCESS RESIDENTIAL ROADS PRIVATE RESIDENTIAL PATHS	26,204 SF LENGTH: 676' 4,378 SF	
	LENGTH: 484'	
TOTAL # OF BUILDINGS		5
	GROSS	NE

TOTAL RETREAT GROUND FL. AREA

TOTAL RESIDENTIAL GROUND FL. AREA

TOTAL RESIDENTIAL BUILDING 2ND FL. AREA

TOTAL HOSPITALITY & RESIDENTIAL PARKING

RESTAURANT (140 SEATS, 1 STALL PER 4 SEATS)

RESIDENTIAL (40 UNITS + 1 MANAG. UNIT) + VISIT. PARKING

RETREAT LODGES + BUNGALOWS + CABINS

TOTAL RETREAT 2ND FL. AREA

TOTAL FLOOR AREA

PARKING BREAKDOWN

VISITOR (PRESERVE)

FARM STAND

FARM EMPLOYEE PARKING

RETREAT EMPLOYEE PARKING

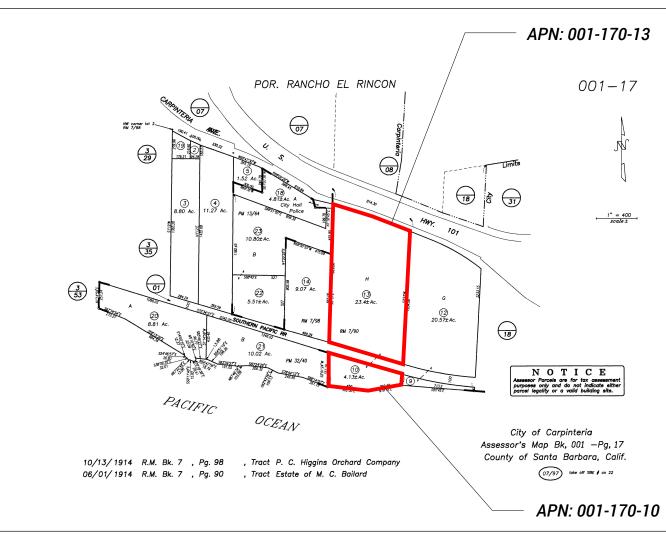
EVENTS BARN (1 PER 3000SF)

TOTAL RETREAT BICYCLE PARKING TOTAL RESIDENTIAL BICYCLE PARKING

#### VICINITY MAP



APN MAP NOT TO SCALE



#### LEGAL DESCRIPTION

PARCEL ONE:

A TRACT OF LAND IN THE CITY OF CARPINTERIA, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

ALL OF TRACT "H" AS SHOWN ON THE MAP ATTACHED TO THE COMMISSIONERS REPORT IN THE MATTER OF THE PARTITION OF THE ESTATE OF MARTHA C. BAILARD, DECEASED, FILED IN CASE No. 8145. IN THE SUPERIOR COURT OF SANTA BARBARA COUNTY STATE OF CALIFORNIA, AND A COPY THEREOF FILED IN BOOK 7, AT PAGE 90 OF MAPS AND SURVEYS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THOSE PORTIONS THEREOF LYING NORTHERLY OF THE SOUTHERLY LINE OF THAT DESCRIBED IN THE DEED TO THE SOUTHERN PACIFIC BRANCH RAILWAY COMPANY DATED FEBRUARY 2, 1887, RECORDED MARCH 29, 1887 IN BOOK 12, PAGE 543 OF DEEDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID

SAID LAND IS DESCRIBED IN THAT CERTAIN CERTIFICATE OF COMPITANCE RECORDED FEBRUARY 23, 2000 AS INSTRUMENT No. 2000-0010570 OF OFFICIAL RECORDS, RECORDS OF SANTA BARBARA COUNTY.

PARCEL TWO:

A TRACT OF LAND IN THE CITY OF CARPINTERIA, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

ALL OF TRACT "H" AS SHOWN ON THE MAP ATTACHED TO THE COMMISSIONERS REPORT IN THE MATTER OF THE PARTITTON OF THE ESTATE OF MARTHA C. BAILARD, DECEASED, FILED IN CASE No. 8145, IN THE SUPERIOR COURT OF SANTA BARBARA COUNTY, STATE OF CALIFORNIA, AND A COPY THEREOF FILED IN BOOK 7, AT PAGE 90 OF MAPS AND SURVEYS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THOSE PORTIONS LYING WITHIN THE LINES OF THE STATE HIGHWAY AS CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED IN BOOK 868. PAGE 164 OF OFFICIAL RECORDS, AND BY DEED RECORDED MAY 20, 1953 AS INSTRUMENT No. 8237 IN BOOK 1153, PAGE 185 OF OFFICIAL RECORDS, RECORDS OF SAID COUNTY.

EXCEPTING THEREFROM THOSE PORTIONS THEREOF DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED IANUARY 16, 1964AS INSTRUMENT No. 2425 IN BOOK 2031, PAGE 424, OF OFFICIAL RECORDS. EXCEPTING THEREFROM THOSE PORTIONS THEREOF LYING SOUTHERLY OF THE NORTHERLY LINE OF THAT PORTION THEREOF DESCRIBED IN THE DEED TO THE SOUTHERN PACIFIC BRANCH RAILWAY COMPANY DATED FEBRUARY 2, 1887, RECORDED MARCH 29, 1887 IN BOOK 12 PAGE 543 OF DEEDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SAID LAND IS DESCRIBED IN THAT CERTAIN CERTIFICATE OF COMPLIANCE RECORDED FEBRUARY 23, 2000 AS INSTRUMENT No. 2000-0010569 OF OFFICIAL RECORDS, RECORDS OF SANTA BARBARA COUNTY. APN:001-170-013

#### 5669, 5885 CARPINTERIA AVENUE CARPINTERIA, CA 93013

PLANNING SUBMISSION - 5885 CARPINTERIA AVENUE MIXED-USE RESIDENTIAL, HOSPITALITY & FARM

OCTOBER 11TH, 2023

## PROJECT DESCRIPTION

The Farm Preserve & Bungalows Project consists of a bungalow style retreat, affordable housing, restaurant, regenerative farm, farm stand, event barn, accessory structures, and dedication of a conservation easement for public open space, public trails, and agriculture to be overseen by a local, third party conservation group. The project will also include open space restoration, native landscaping, parking, and access improvements. Retreat development will include typical ancillary uses such as pools, a wellness/fitness area, and back of house use areas.

The site consists of two parcels totaling 27.53 acres zoned Planned Unit Development (PUD). The PUD designation is generally assigned to large undeveloped parcels that are suitable for a combination of land uses, including residential development, visitor-serving commercial facilities, recreational facilities, and open space. The parcels are separated by the Union Pacific Railroad right-of-way. The northernmost portion of the Property (APN 001-170-013) is 23.4 acres and is the present site of the Tee Time golf driving range. To the east and south of the driving range is an active agricultural operation. The southernmost parcel (APN 001-170-010), south of the railroad right-of-way, is 4.13 acres and is undeveloped except for a recreational trail that crosses the property's southernmost edge. There are no structures on the property. The driving range utilizes a mobile trailer as its office.

Adjacent land uses include the decommissioned oil processing facility, City Hall facilities, and a new skatepark to the west. The Bluffs Preserve is located to the east. To the north is Carpinteria Avenue and Please refer to the enclosed Biological Resources Assessment Report for a detailed description of the biological setting

Structural Development

The project proposes approximately 178,714 gross square feet (SF) of structural development on the northern portion of APN 001-170-013 resulting in building footprints of approximately 126,483 SF; no development is proposed on the 4.13-acre southern parcel, APN 001-170-010. Approximate square footage is summarized as follows:

USE	Gross Square Feet	Net Square Feet
Retreat	100,460	60,450
Retreat - Exterior Areas	9,895	9,895
Residential	47,408	34,552
Event Barn	7,388	5,153
Farm Stand	600	391
Farm Building	2,112	1,681
Restaurant	10,851	6,971
TOTAL	178,714	119,093

he retreat component of the project is further summarized as follow

Lodges: 59 keys with approximately 39,504 SF of total floor area; Bungalows: 40 single-story keys with approximately 34,776 SF of total floor area:

Main Retreat Building: 7,413 SF which includes the lobby and reception area, bar, guest amenities, retreat administrative offices, restrooms, and an exterior deck;

Retreat maintenance and service building: 3,027 SF; Retreat greywater treatment facility: 1,152 SF;

Wellness Building: 12,926 SF of fitness and wellness facilities which will include a reception area, relaxation area, treatment rooms, sauna, steam rooms, gym, and restrooms (note the exterior of the Wellness Building is proposed to be bermed and substantially screened from view); Pool area: Pool, hot tub, 1,566 SF building with a 10-seat pool bar, bathrooms, changing rooms and lounge area.

The residential component of the project proposes 41 one, two, and three-bedroom affordable income-level rental apartments including a manager's unit that total approximately 47,408 SF (inclusive of a residen ommunity center and a maintenance shed). The applicant is partnering with People's Self-Help Housing to develop, own, and manage the apartments. Outdoor residential amenities, including a playground, are The regenerative agricultural component of the project is comprised of approximately five acres of cultivated land with 2,112 SF of ancillary structures, including a farm office, garage/workshop, storage and distribution area, delivery and receiving area, compost area, and farm yard.

A 600 SF farm stand will offer produce from the property's farm to the public. An approximately 10,851 SF public restaurant and bar is anticipated to provide 100 interior seats and an outdoor seating patio for approximately 40 people.

A 7,388 SF event barn is proposed to be available for use by retreat guests and community gatherings.

Parking will be provided on-site with a total of 274 parking spaces utilizing approximately 89,623 SF of surface and below-grade parking (36,961 SF surface and 52,662 SF below grade). An at grade pedestrian railroad crossing is indicated in the location where it currently exists. The crossing is noted to include a barricade arm and audible alarms that would operate to block the crossing when trains approach without interfering with train passage. The crossing would also include, if feasible, improvements to allow access by wheelchairs

The project includes a Tentative Parcel Map that will subdivide the property identified by APN 001-170-013 into three parcels. Proposed parcels will be utilized as follows: 1) residential, 2) retreat and farm, and 3) conserved public open space and agriculture north of the railroad tracks. Proposed parcels are summarized in proposed parcel breakdown below. The existing property identified by APN 001-170-010 is also proposed to be conserved as public open space.

The project anticipates dedication of a conservation easement to preserve open space and agricultural components. These areas to be preserved in perpetuity for agriculture and public open space are intended to be a existing preserved areas of the Bluffs and will be open to the public. Preserved areas consist of approximately 13.6 acres (approximately 10 acres for public trails and open space, and 3.6 acres dedicated to farming). The applicant would prefer to maintain ownership of the open space areas in order to provide for ongoing and long-term maintenance, but is amenable to discussing maintenance and easement management arrangements with the City and/or third-party non-profit land conservation organizations.

The majority of the project site will be available for use by general the public:

13.6 acres of open space, trails, and farmland contiguous with the existing bluffs preserve is proposed to be preserved with a conservation easement and open to the public. While the public currently informally uses a portion this area, it is private property. The project will ensure this area remains open for use by the public in perpetuity. It is intended that the agricultural component will host public educational workshops and experiences related to regenerative organic farming, native herbal/medicinal workshops, etc.

The farm stand will be open to the public. The event barn will be available for use for community events (approximately 6 community events with no rental fees per year are anticipated) Visitor parking will have 10 spaces dedicated for use by the public.

The retreat and associated spa/gym and pools will be available to retreat guests.

Residential areas will be open to the public.

A total of 274 parking spaces will be provided on site with 120 spaces located in surface parking lots (36,961 SF) and 154 spaces located in a subterranean garage (52,662 SF). Parking is allocated as follows:

Use	Spaces
Hotel	99
Apartments - Residents & Visitors	52
Restaurant	35
Event Barn	16
Farm Building	10
Farm Stand	2
Employees	50
Bluffs Preserve Visitors	10

The applicant is proposing to apply Density Bonus Law to the residential portion of the project, which qualifies the project for certain development standard reductions. The project is proposing 52 parking spaces for the residences, which accounts for a reduction in the number of parking spaces from 292 parking spaces required by the Zoning Code to the proposed 274 parking spaces, which incorporates parking ratios under state density bonus law. The Transportation Impact Analysis prepared for the project demonstrates that the proposed number of parking spaces will meet peak weekday and weekend parking demand. With regard to community events that would be open to the public, as prescribed in the Transportation Impact Analysis the project proposes to pursue a reciprocal parking agreement with a site in Carpinteria, with shuttles provided to

The Project will include bicycle parking spaces and electric vehicle car charging stations. The surface parking lot is designed with a permeable surface. Please refer to the enclosed Traffic Impact Analysis (which includes a parking analysis) and the discussion of the analysis and parking below.

Vehicle ingress and egress to the property will be provided at two locations on Carpinteria Avenue. The site plan includes a "u-shaped" internal driveway for access to the residences, retreat, restaurant, and event barn. A loop road is also proposed through the retreat portion of the project for use by retreat staff, emergency vehicles, and retreat guests on foot (retreat guests will be walked from check-in to their respective rooms but will have the option of requesting an electric shuttle cart). Residences will be accessed from Carpinteria Avenue via a reciprocal access easement at the western driveway. Pedestrian and bicycle access will continue to be provided from Carpinteria Avenue. The project will provide pedestrian access to the Bluffs Preserve trail system and the proposed 13.6-acre conservation easement area.

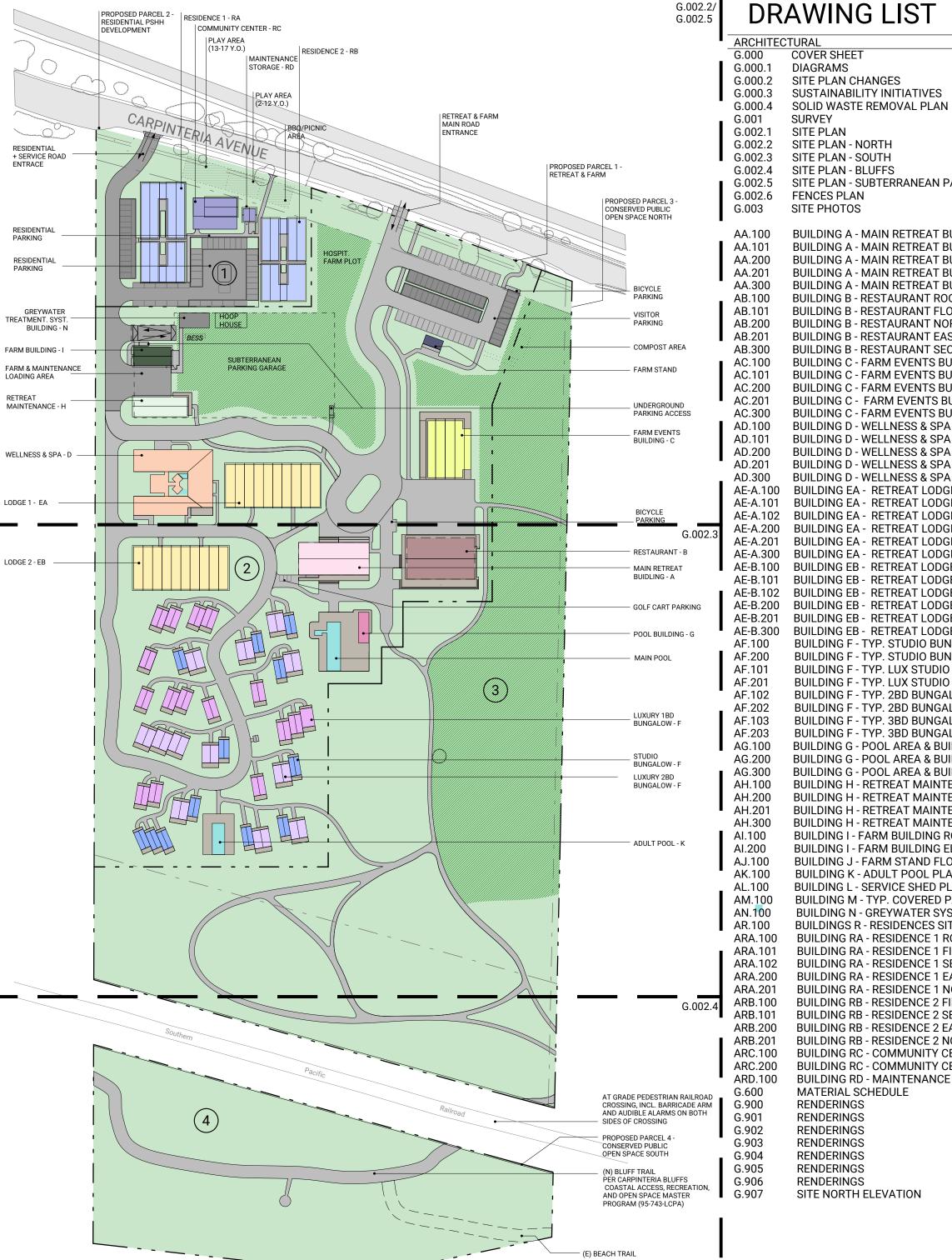
Proposed grading will be balanced on site and is summarized as follows.

	0.4	Fill
Underground Parking	17,000 cy	7,000 cy
e	30,000 cy	40,000 cy
OTAL	47,000 cy	47,000 cy

The farm, retreat, and restaurant will employ approximately 133 employees rotating through 2.5 shifts, resulting in approximately 50 employees on-site at any given time.

Proposed structures include a 7,388 square foot event barn. The building will serve as event space for retreat and restaurant guests. It is also proposed to be available for certain community events (or "external" events). It is anticipated a shuttle service may be used to transport guests for community events. The traffic analysis assumed that there will be up to 30 internal events per year with up to 200 guests (primarily quests staying at the retreat) and up to 6 external events with 180 visitors from the local community. The internal events would occur during the weekend and the external events would occur during the weekday.

To meet the parking demand during the external special events, the Traffic Impact Analysis recommends that the project develop a reciprocal parking agreement with a neighboring property with shuttles provided to



#### TITLE SHEET PRELIMINARY GRADING PLAN - NORTH PRELIMINARY GRADING PLAN - SOUTH C.102 PRELIMINARY GRADING PLAN - BLUFFS C.103 PRELIMINARY OFFSITE IMPROVEMENTS C.200 PRELIMINARY GRADING SECTIONS C.201 PRELIMINARY GRADING SECTIONS C.202 PRELIMINARY GRADING SECTIONS PRELIMINARY UTILITY PLAN - NORTH C.300 PRELIMINARY UTILITY PLAN - SOUTH G.002.5 SITE PLAN - SUBTERRANEAN PARKING C.302 PRELIMINARY UTILITY PLAN - BLUFFS C.400 PRELIMINARY CUT/FILL MAP C.500 EXISTING DRAINAGE PLAN C.501 PRELIMINARY STORMWATER CONTROL PLAN TENTATIVE PARCEL MAP BUILDING A - MAIN RETREAT BUILDING ROOF PLAN BUILDING A - MAIN RETREAT BUILDING GROUND LEVEL FLOOR PLAN BUILDING A - MAIN RETREAT BUILDING NORTH & SOUTH ELEVATIONS LANDSCAP BUILDING A - MAIN RETREAT BUILDING WEST & EAST ELEVATIONS BUILDING A - MAIN RETREAT BUILDING SECTION COVER PAGE BUILDING B - RESTAURANT ROOF PLAN GRADING AND EXISTING CONDITIONS PLAN - FULL BUILDING B - RESTAURANT FLOOR PLAN GRADING AND EXISTING CONDITIONS PLAN - NORTH BUILDING B - RESTAURANT NORTH & SOUTH ELEVATIONS GRADING AND EXISTING CONDITIONS PLAN - SOUTH BUILDING B - RESTAURANT EAST & WEST ELEVATIONS GRADING AND EXISTING CONDITIONS PLAN - BLUFFS L200 BUILDING B - RESTAURANT SECTION GROUNDCOVER PLAN - FULL SITE L201 GROUNDCOVER PLAN - NORTH BUILDING C - FARM EVENTS BUILDING ROOF PLAN BUILDING C - FARM EVENTS BUILDING FLOOR PLAN L202 **GROUNDCOVER PLAN - SOUTH** L203 BUILDING C - FARM EVENTS BUILDING NORTH & SOUTH ELEVATIONS **GROUNDCOVER PLAN - BLUFFS** BUILDING C - FARM EVENTS BUILDING EAST & WEST ELEVATIONS L300 **CANOPY PLAN - FULL** BUILDING C - FARM EVENTS BUILDING SECTIONS L301 **CANOPY PLAN - NORTH** L302 BUILDING D - WELLNESS & SPA ROOF PLAN CANOPY PLAN - SOUTH BUILDING D - WELLNESS & SPA FLOOR PLAN L303 **CANOPY PLAN - BLUFFS** PLANTING PLAN - FULL BUILDING D - WELLNESS & SPA NORTH & SOUTH ELEVATIONS L400 BUILDING D - WELLNESS & SPA EAST & WEST ELEVATIONS PLANTING PLAN - NORTH AD.300 BUILDING D - WELLNESS & SPA SECTIONS PLANTING PLAN - SOUTH AE-A.100 BUILDING EA - RETREAT LODGE ROOF PLAN PLANTING PLAN - BLUFFS AE-A.101 BUILDING EA - RETREAT LODGE FIRST FLOOR PLAN L500 SPECIES LIST AE-A.102 BUILDING EA - RETREAT LODGE SECOND FLOOR PLAN AE-A.200 BUILDING EA - RETREAT LODGE EAST & WEST ELEVATIONS AE-A.201 BUILDING EA - RETREAT LODGE NORTH & SOUTH ELEVATIONS AE-A.300 BUILDING EA - RETREAT LODGE SECTIONS SITE LIGHTING PLAN NORTH AE-B.100 BUILDING EB - RETREAT LODGE ROOF FLOOR PLAN SITE LIGHTING PLAN SOUTH AE-B.101 BUILDING EB - RETREAT LODGE FIRST FLOOR PLAN SITE LIGHTING PLAN PHOTOMETRY MAIN RETREAT BUIDLING - PLAN AE-B.102 BUILDING EB - RETREAT LODGE SECOND FLOOR PLAN LT.A100 MAIN RETREAT BUIDLING - N + S ELEVATIONS AE-B.200 BUILDING EB - RETREAT LODGE EAST & WEST ELEVATIONS LT.A200 AE-B.201 BUILDING EB - RETREAT LODGE NORTH & SOUTH ELEVATIONS MAIN RETREAT BUIDLING - W + E ELEVATIONS LT.A201 AE-B.300 BUILDING EB - RETREAT LODGE SECTIONS LT.B100 RESTAURANT - PLAN BUILDING F - TYP. STUDIO BUNGALOW ROOF & FLOOR PLAN RESTAURANT - N + S ELEVATIONS BUILDING F - TYP. STUDIO BUNGALOW ELEVATIONS & SECTIONS LT.B201 RESTAURANT - W + E ELEVATIONS EVENTS BARN - PLAN BUILDING F - TYP. LUX STUDIO BUNGALOW ROOF & FLOOR PLAN LT.C100 RESTAURANT - N + S ELEVATIONS BUILDING F - TYP. LUX STUDIO BUNGALOW ELEVATIONS & SECTIONS LT.C200 BUILDING F - TYP. 2BD BUNGALOW ROOF & FLOOR PLAN RESTAURANT - W + E ELEVATIONS LT C201 BUILDING F - TYP. 2BD BUNGALOW ELEVATIONS & SECTIONS LT.D100 WELLNESS + SPA - PLAN BUILDING F - TYP. 3BD BUNGALOW ROOF & FLOOR PLAN WELLNESS + SPA - N + S ELEVATIONS BUILDING F - TYP. 3BD BUNGALOW ELEVATIONS & SECTIONS LT.D201 WELLNESS + SPA - W + E ELEVATIONS BUILDING G - POOL AREA & BUILDING ROOF & FLOOR PLAN LT.EA100 LODGES - PLAN LT.EA200 LODGES - N + S ELEVATIONS BUILDING G - POOL AREA & BUIDLING ELEVATIONS LT.EA201 LODGES - W + E ELEVATIONS BUILDING G - POOL AREA & BUILDING SECTION BUILDING H - RETREAT MAINTENANCE ROOF & FLOOR PLAN LT.EB100 LODGES - PLAN BUILDING H - RETREAT MAINTENANCE NORTH & SOUTH ELEVATIONS LT.EB200 LODGES - N + S ELEVATIONS BUILDING H - RETREAT MAINTENANCE NORTH & SOUTH ELEVATIONS LT.EB201 LODGES - W + E ELEVATIONS BUILDING H - RETREAT MAINTENANCE SECTIONS LT.F100 BUNGALOW - PLAN BUILDING I - FARM BUILDING ROOF & FLOOR PLAN LT.F200 BUNGALOW - N + S ELEVATIONS **BUILDING I - FARM BUILDING ELEVATIONS & SECTIONS** LT.F101 BUNGALOW - PLAN BUILDING J - FARM STAND FLOOR PLAN, ELEVATIONS & SECTION LT.F201 BUNGALOW - N + S ELEVATIONS BUILDING K - ADULT POOL PLAN & SECTION BUNGALOW - PLAN LT.F102 BUILDING L - SERVICE SHED PLAN & ELEVATIONS LT.F202 BUNGALOW - N + S ELEVATIONS BUILDING M - TYP. COVERED PARKING STRUCTURE PLAN & ELEV. LT.F103 BUNGALOW - PLAN BUILDING N - GREYWATER SYST. STRUCTURE PLAN & ELEV. LT.F203 BUNGALOW - N + S ELEVATIONS AR.100 BUILDINGS R - RESIDENCES SITE PLAN LT.G100 POOL AREA - PLAN ARA.100 BUILDING RA - RESIDENCE 1 ROOF PLAN LT.G200 POOL AREA - W + E ELEVATIONS ARA.101 BUILDING RA - RESIDENCE 1 FIRST FLOOR PLAN LT.H100 RETREAT MAINTENANCE - PLAN ARA.102 BUILDING RA - RESIDENCE 1 SECOND FLOOR PLAN LT.H200 RETREAT MAINTENANCE - N + S ELEVATIONS ARA.200 BUILDING RA - RESIDENCE 1 EAST & WEST ELEVATIONS LT.H201 RETREAT MAINTENANCE - E ELEVATION ARA.201 BUILDING RA - RESIDENCE 1 NORTH & SOUTH ELEVATIONS & SECTION | LT.I100 FARM BUILDING - PLAN ARB.100 BUILDING RB - RESIDENCE 2 FIRST FLOOR PLAN LT.1200 FARM BUILDING - ELEVATIONS ARB.101 BUILDING RB - RESIDENCE 2 SECOND FLOOR PLAN LT.J100 FARM STAND - PLAN ARB.200 BUILDING RB - RESIDENCE 2 EAST & WEST ELEVATIONS LT.J200 FARM STAND - ELEVATIONS ARB.201 BUILDING RB - RESIDENCE 2 NORTH & SOUTH ELEVATIONS & SECTION | LT.K100 ADULT POOL - PLAN ARC.100 BUILDING RC - COMMUNITY CENTER PLANS LT.RA100 RESIDENCES - PLAN ARC.200 BUILDING RC - COMMUNITY CENTER ELEVATIONS & SECTION LT.RA200 RESIDENCES - W + E ELEVATIONS ARD.100 BUILDING RD - MAINTENANCE STORAGE PLANS, ELEV. & SECTION LT.RB100 RESIDENCES - PLAN LT.RB200 RESIDENCES - W + E ELEVATIONS LT.RC100 COMMUNITY CENTER - PLAN LT.RC200 COMMUNITY CENTER - N ELEVATION LT.RD100 MAINTENANCE SHED PLAN + ELEVATION



PROJECT:

**CIVIL ENGINEER** 115 W. CANON PERDIDO STRE SANTA BARBARA, CA 93101

LANDSCAPE ARCHITECT 248 WASHINGTON AVE, STUDIO C MIAMI BEACH, FL 33139

3303 N. SAN FERNANDO BLVD., STE 100

SURVEYOR 5553 HOLLISTER AVE, STE 7&8 GOLETA, CA 93117

# **DESIGN INTENT** ONLY

**GENERAL NOTES:** UNLESS OTHERWISE NOTED.

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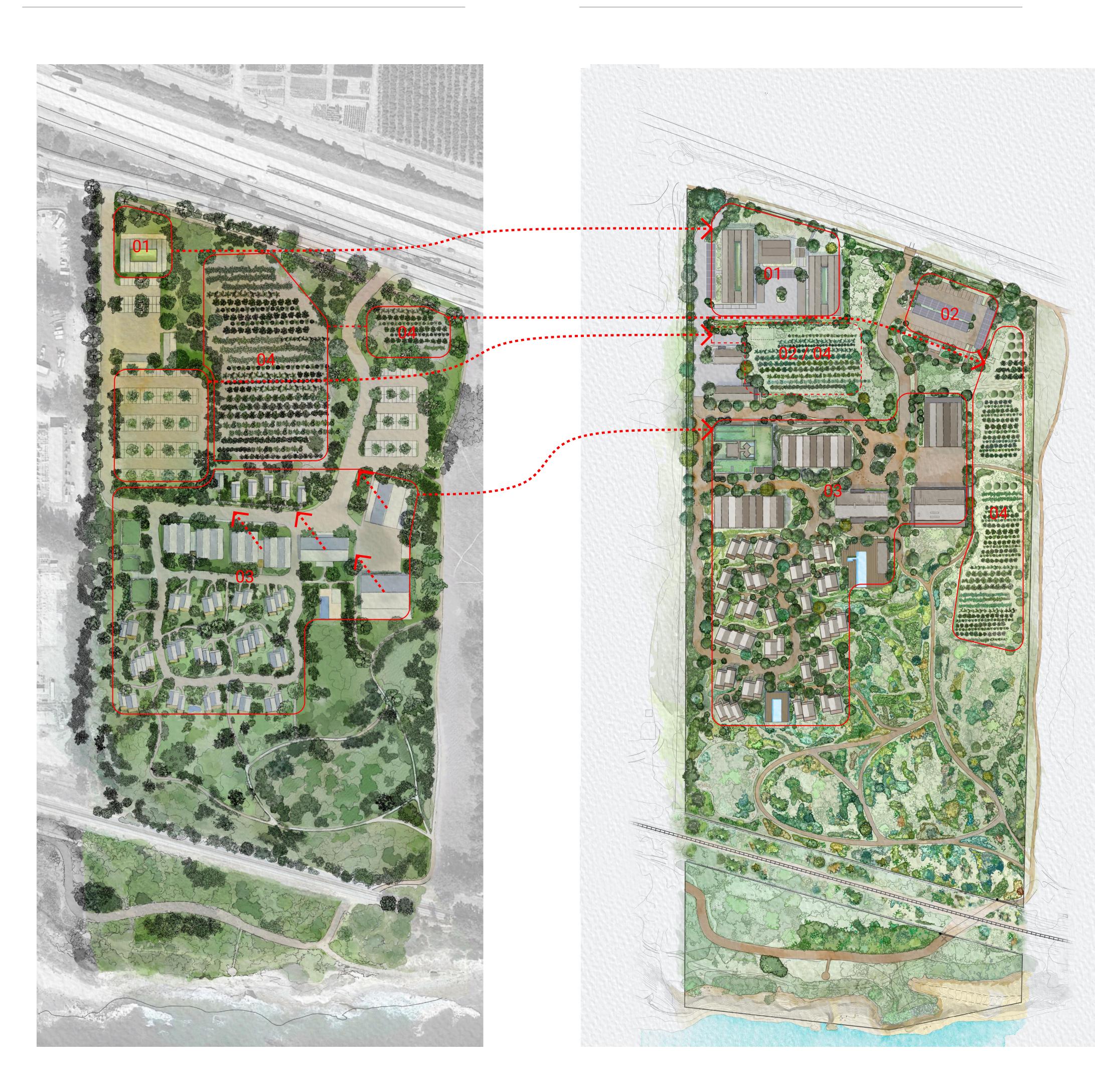
10/12/2023 PDS049 30" X 42"

**COVER SHEET** 

# SITE PLAN CHANGES

CONCEPT REVIEW SITE PLAN PROPOSAL - 03/31/2022

NEW SITE PLAN PROPOSAL



#### MAJOR DESIGN UPDATES

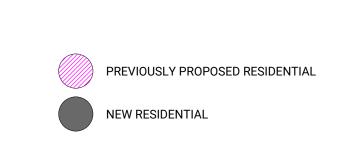
01 - RESIDENCES: THE SCALE OF THE RESIDENCES AND ASSOCIATES RESIDENTIAL AMMENITIES HAVE BEEN INCREASED FROM 16 TO 41 UNITS OF AFFORDABLE HOUSING UNITS, PLUS COMMUNITY RECREATION BUILDINGS AND AREAS.

02 - SURFACE LEVEL PARKING WAS CONSOLIDATED TO THE NORTH EAST CORNER OF THE SITE (NEAR THE EXISTING TEE TIME PARKING LOT) AND IN AN UNDERGROUND PARKING GARAGE, TO INCREASE THE AMOUNT OF OPEN SPACE AND REDUCE THE AMOUNT OF VISIBLE SURFACE PARKING.

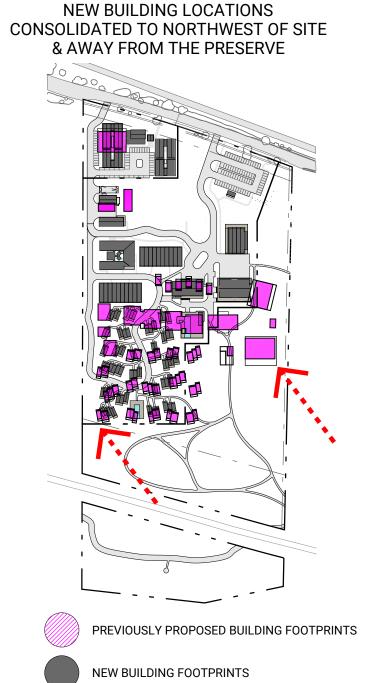
03 - ALL BUILDINGS HAVE SHIFTED AND CLUSTERED TOWARD THE NORTHWEST CORNER OF THE SITE, OPENING UP SIGNIFICANTLY MORE PRESERVE AND AND FARM LAND ADJACENT TO THE BLUFFS.

04 - FARM AREA PREVIOUSLY ALLOCATED AT THE CENTER OF THE SITE WAS SHIFTED TO THE EASTERN EDGE OF THE SITE. CREATING A LARGER NATURAL BUFFER.

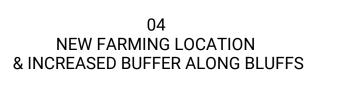


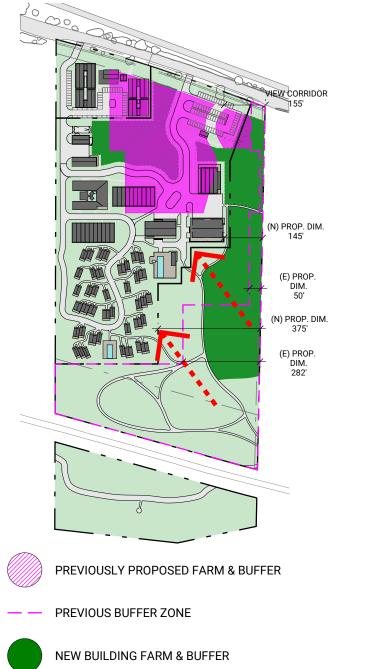












PROJECT:

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10/12/2023 PDS049 30" x 42"

SITE PLAN CHANGES

G.000.2

## ON-SITE SUSTAINABILITY INITIATIVES

#### SOLAR POWER GENERATION + BATTERY POWER STORAGE

According to the conceptual modeling and energy analysis of solar arrays for the proposed Carpinteria Farm and Hospitality Experience development, it is expected that a carport solar system would offset about 25% of the property's energy consumption. The proposed system has the capability to scale in order to increase the total on-site energy production capacity.



SOLAR POWER PLAN
RESIDENTIAL: 130 PANELS (540W)
COMMERCIAL: 204 PANELS (540W)



= SOLAR ARRAY AREA

#### REGENERATIVE FARMING + ORGANIC SOIL

Following a strict multi-year plan to restore the local ground conditions, the farm will acquire a USDA Organic Soil certification. Additionally, the farm will impliment regenrative farming techniques, such as on site composting, crop rotation with native nitrogen fixing crops. The farm aims to tap into Carpinteria's rich agrarian history and serve as an example of agricultural methods that honor local farming traditions and strive for the highest level of sustainable farming practices.



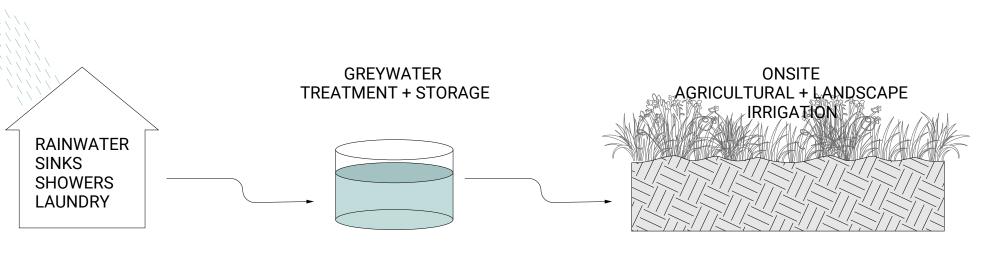
### NATIVE PLANTS & LANDSCAPE RESTORATION

The landscape strategy of the proposed project impliments methods of planting that will restore the earth to it's natural state, as it was hundreds of years ago. By reintroducing local species and fostering natural growth densities, the site's landscaping aims to require no additional water resources than the natural rainfall within 10 years.



### WATER CATCHMENT + GREY WATER RE-USE

Rainwater and grey water will captured and stored on site and re-used.



#### ZERO SOIL EXPORT / IMPORT

In order to reduce both the carbon emmisions associated with material hauling as well as the disturbance to the neighrborhood, the project proposes Net Zero soil importing and exporting.



## SUSTAINABLE, REGIONAL BUILDING MATERIALS

The proposed project uses materials sourced from as close to Carpinteria as possible. The aim of this is twofold.

1. The use of local and reclaimed materials reduces the overall carbon footprint of the project by reducing shipping emmisions and breathing new life into reclaimed materials.

2. Locally sourced materials will express the identity of place and strive for an architectural expression that celebrates Carpinteria's unique style and history.











#### LOCALLY SOURCED PRODUCTS

The commercial and retail areas of the proposed project will foster relationships with the broader community and serve as a point of exhibition and sale for locally crafted goods.







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SITE PLAN 1/512" = 1'-0"

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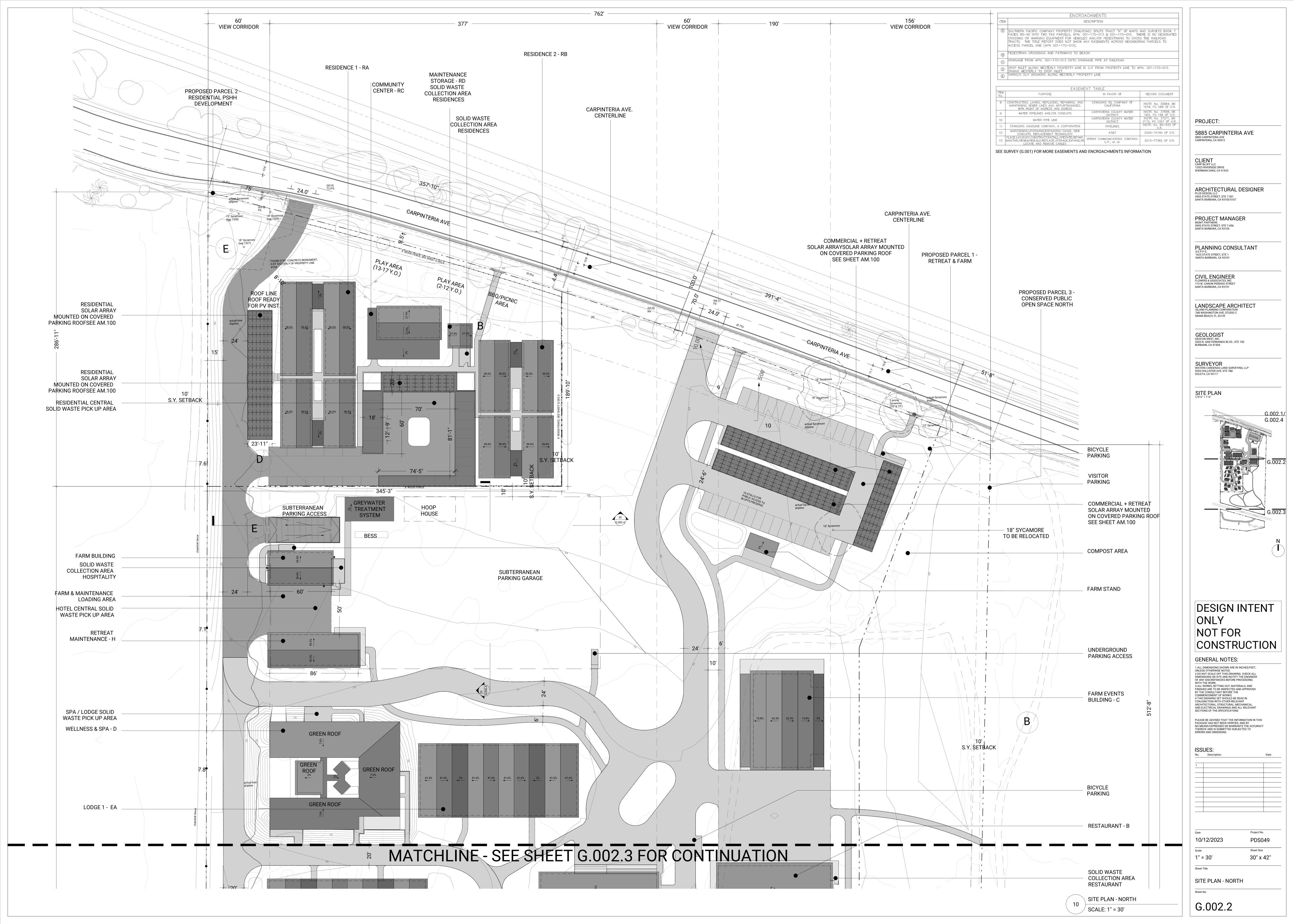
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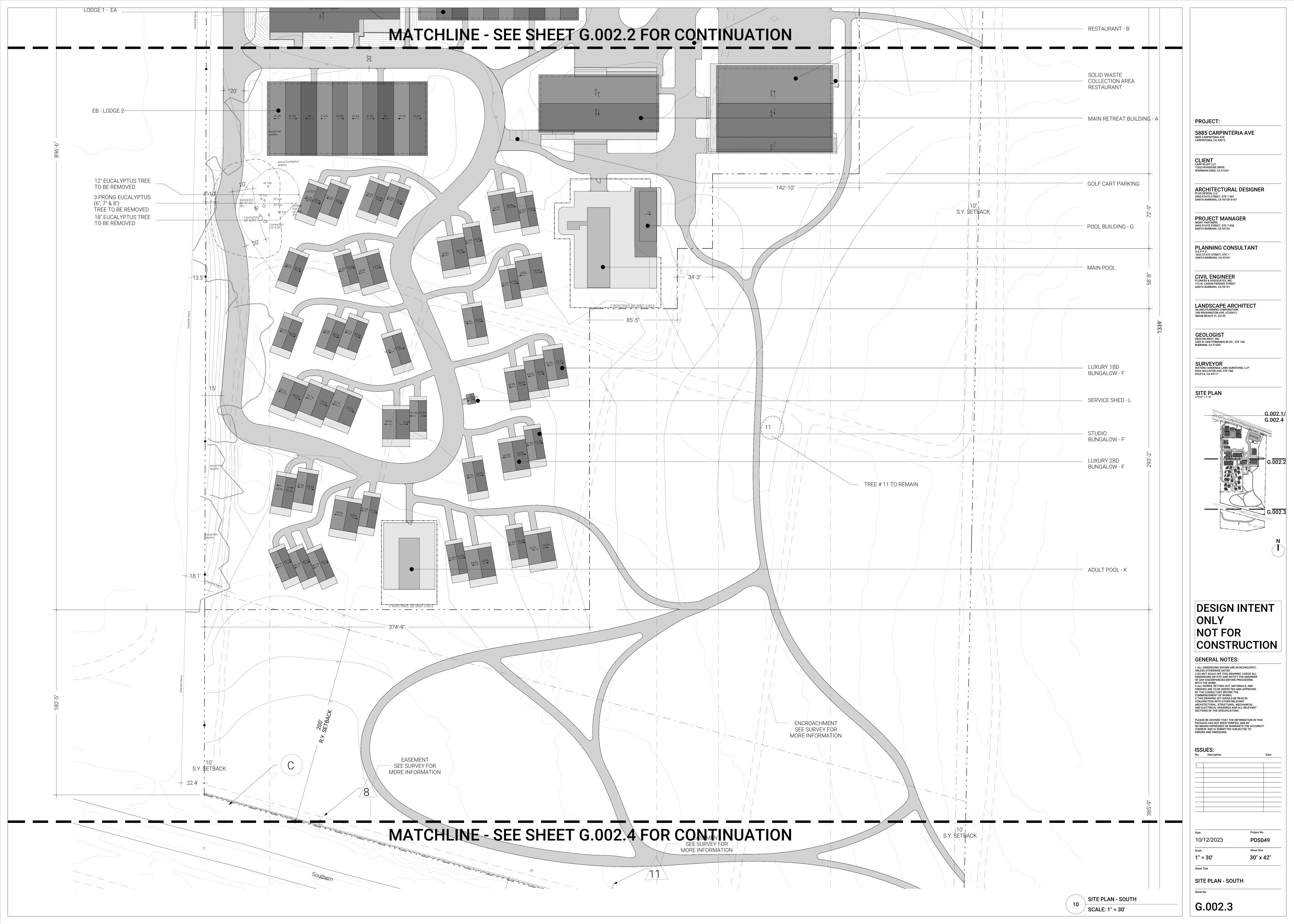
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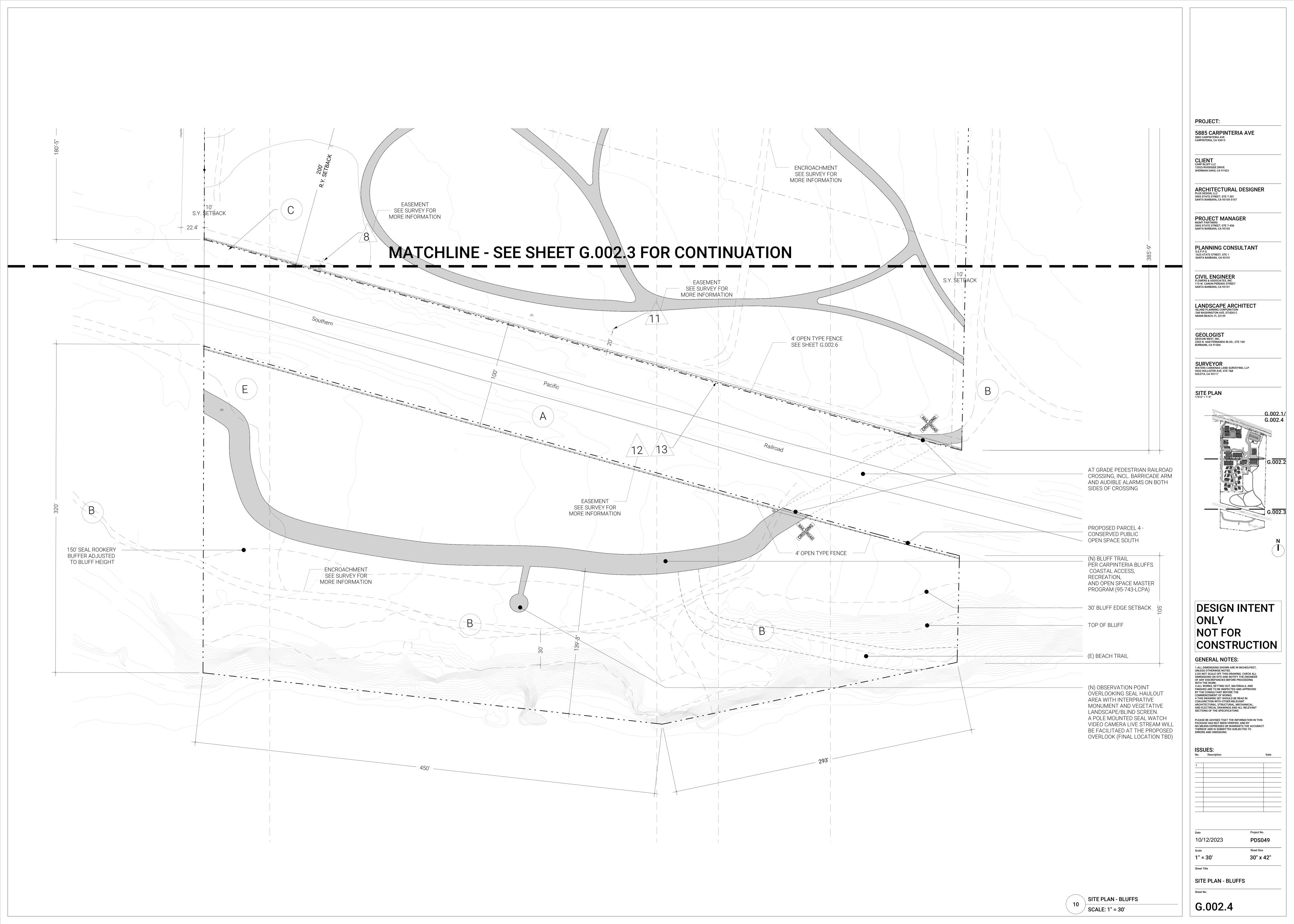
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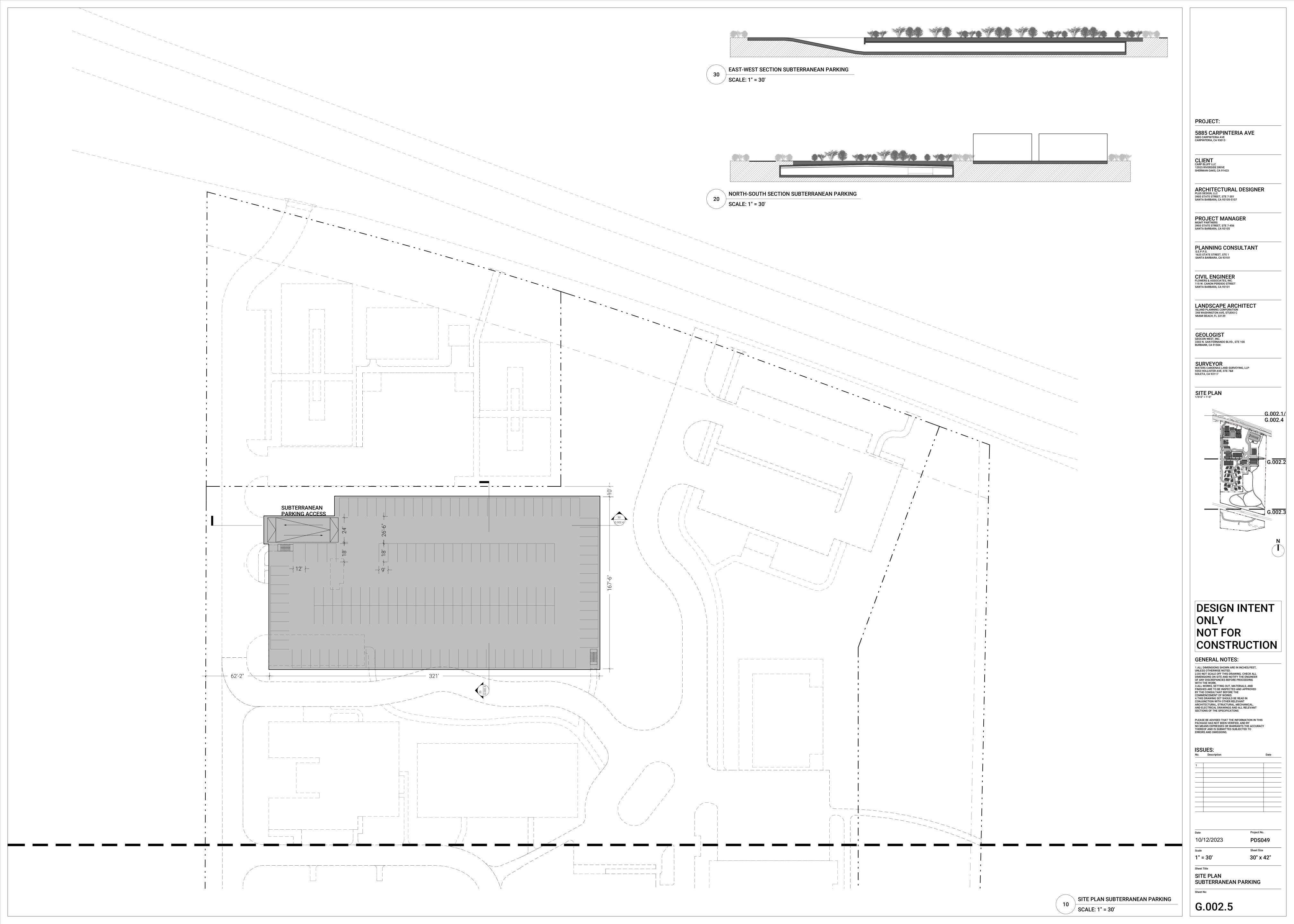
SUSTAINABILITY SUMMARY

G.000.3













NORTH ENTRANCE - YEAR 1

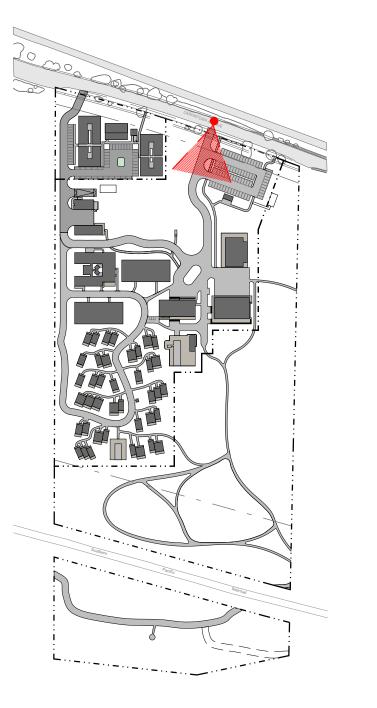
NORTH ENTRANCE - YEAR 10













**GENERAL NOTES:** 

PROJECT:

CLIENT CARP BLUFF LLC 12925 RIVERSIDE DRIVE SHERMAN OAKS, CA 91423

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No.	Description	Date
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Date	Project No.
10/12/2023	PDS049
Scale	Sheet Size
N/A	30" x 42"

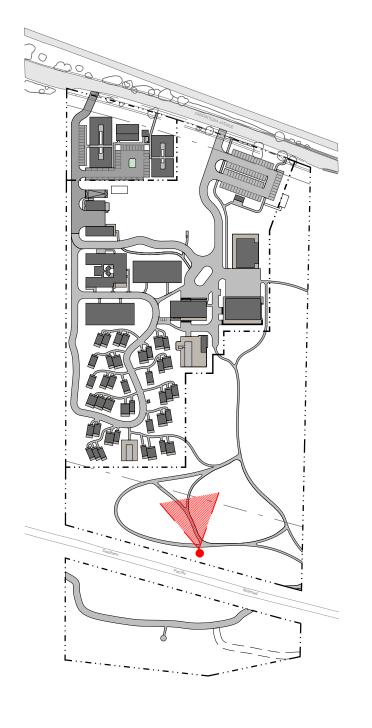
RENDERINGS

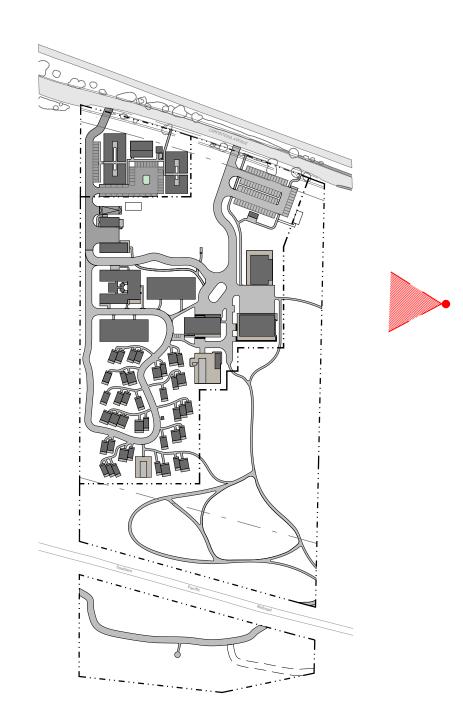












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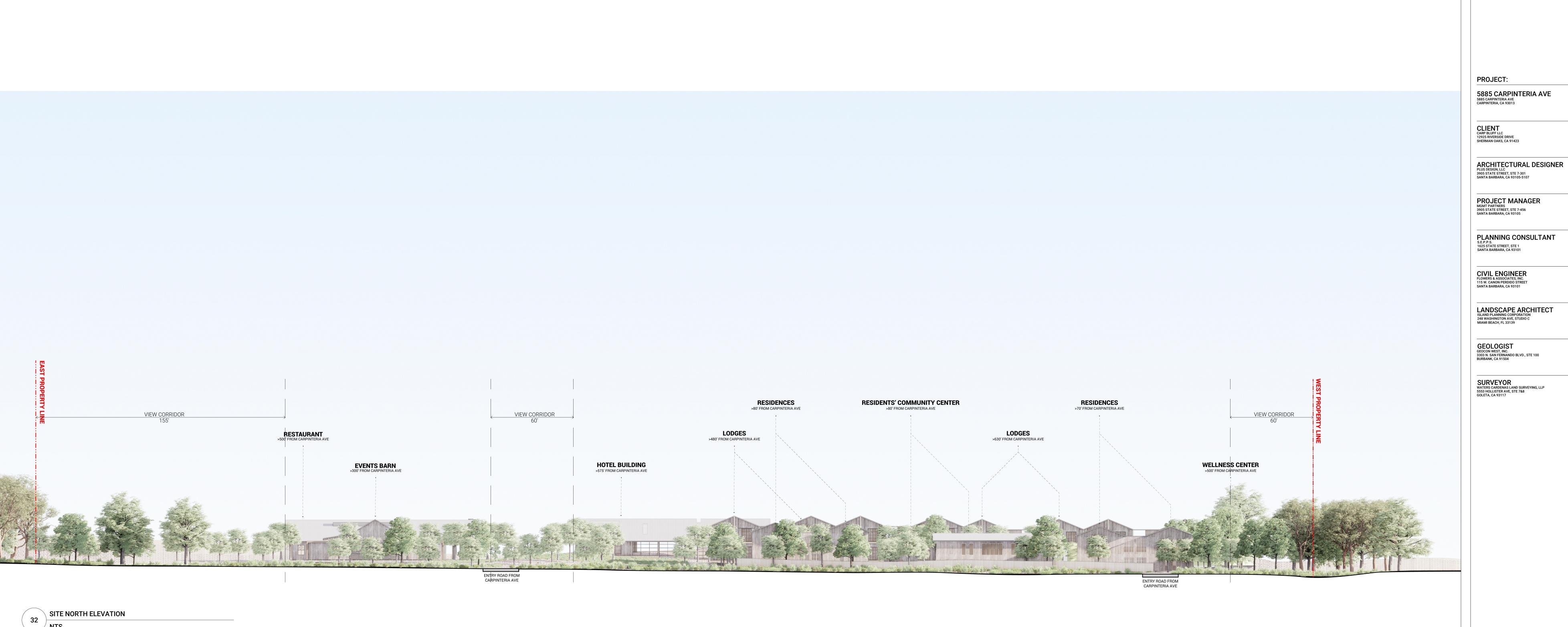
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10.	Description	Date
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Date	Project No.
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Scale	Sheet Size
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RENDERINGS



NTS

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ISSUES:
No. Description

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SITE NORTH ELEVATION